



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & ECONOMIC DEVELOPMENT DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT
DEVELOPMENT REVIEW COMMISSION
REDEVELOPMENT REQUEST
PUBLIC HEARING

For **Public Hearing** and **Executive Action** on February 1, 2023, beginning at 1:00 P.M., Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Economic Development Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 22-51000006 PLAT SHEET: G-6

REQUEST: Approval of a redevelopment plan to allow reconstruction of two (2) dwelling units with existing duplex to remain.

OWNER: 3W LLC
Griffin Goudreau
Riley Mudd
Kimberly Mudd
1703 E Bethany Home Road
Phoenix, AZ 85016

ADDRESS: 814 14th Street North

PARCEL ID NO.: 13-31-16-10062-000-0870

LEGAL DESCRIPTION: Lot 87, Bon Air Subdivision

ZONING: Neighborhood Traditional Single-Family (NT-2)

SITE AREA TOTAL: 6,600 square feet or .15 acres

GROSS FLOOR AREA:

Existing:	1,645 square feet	0.26 F.A.R.
Proposed:	3,958 square feet	0.60 F.A.R. *
Permitted:	3,960 square feet	0.60 F.A.R.

* Excluding the 300 square feet of garage space for each existing unit.

DENSITY:

Existing:	2 units	(15 units per acre)*
Permitted:	2 units	(15 units per acre)**
Proposed:	2 units	(15 units per acre)**

*One principal dwelling and one accessory dwelling.

** Redevelopment of a portion of the grandfathered density is the subject of this application.

BUILDING COVERAGE:

Existing:	1,465 square feet	22% of Site MOL
Proposed:	1,798 square feet	27% of Site MOL

IMPERVIOUS SURFACE:

Existing:	1,918 square feet	29% of Site MOL
Proposed:	3,359 square feet	51% of Site MOL
Permitted:	5,746 square feet	65% of Site MOL

OPEN GREEN SPACE:

Existing:	4,682 square feet	71% of Site MOL
Proposed:	3,241 square feet	49% of Site MOL

PAVING COVERAGE:

Existing:	37 square feet	1% of Site MOL
Proposed:	1570 square feet	23% of Site MOL

PARKING:

Existing:	1 spaces, including 0 handicapped spaces
Proposed:	2 spaces, including 0 handicapped space
Required:	2 spaces, including 0 handicapped space

BUILDING HEIGHT:

Existing:	14 feet MOL
Proposed:	22 feet
Permitted:	36 feet

APPLICATION REVIEW:

I. PROCEDURAL REQUIREMENTS: The applicant has met and complied with the procedural requirements of Section 16.70.040.1.15 of the Municipal to determine compliance with the criteria for Redevelopment.

II. DISCUSSION AND RECOMMENDATIONS:

Background: The subject property is zoned NT-2 (Neighborhood Traditional Single-Family) and is located in the Historic Uptown Neighborhood. The lot consists of one platted lot that has a lot width of 55-feet, depth of 120-feet, and a lot area of approximately 6,600 square feet. The property is currently developed with three buildings consisting of two detached one-story dwellings and one detached garage located in the rear half of the lot.

In 2022, a Property Card Interpretation 22-41000012 (attached) was completed recognizing the two dwelling units. This application proposes to redevelop the site's two units into two townhomes with attached alley loading carports.

The current regulations for the NT-2 zoning district allows one primary dwelling unit and one accessory dwelling unit, on lots with a minimum lot area of 4,500 square feet. In accordance with the Property Card Interpretation, the property's current multi-family use is considered grandfathered. Due the absence of business tax records, the two units have been granted a conditional reinstatement. The code allows for the redevelopment of grandfathered uses, subject to the Commission's approval of a Redevelopment Plan.

The Request: The applicant seeks approval of a Redevelopment Plan to redevelop two existing dwellings into two townhomes on a single-family zoned lot. The plan requests no variances and incorporates an Art Deco architectural design bonus permissible by the Redevelopment Plan.

Current Proposal: It is the intent of this application to demolish the three existing buildings to construct two two-story townhomes with carports.

Redevelopment Criterion: Pursuant to Code Subsection 16.70.040.1.15, an application for redevelopment must be reviewed for compliance with the criterion. An analysis follows, based on the City Code criterion to be considered by the Commission.

- 1. Building Type.** *Structures shall be required to match the predominate building type in the block face across the street.*

Structures across the street vary between one-story and two-story buildings. The building was designed as a two-story structure with a 22-foot building height consistent the NT-2 zoning district regulations. The building will also have a similar scale with the houses across the street.

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- 2. Building Setbacks.** *Structures shall be required to match the predominate building setbacks in the block face across the street.*

The proposed building meets the required setbacks for the NT-2 zoning district, which is consistent with the development pattern.

- 3. Building Scale.** *Structures shall be required to match the predominate building type, setbacks and scale in the block face across the street.*

Although the proposed building has a larger scale in terms of floor area and building height than the streets predominate pre-1940's one-story housing stock, the redevelopment as proposed complies with other previously approved developments in the NT-2 zoning district.

- 4. Site Development.** *Structures shall be required to match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.*

Vehicular access to the site's parking will be provided via the west abutting 15-foot-wide alley.

Building Mass. *Building Mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater.*

The request utilizes the Redevelopment Plans allowable base FAR of 0.50.

Between the three existing buildings, this property has an existing FAR of 0.26. The request proposes an FAR of 0.60 or 3,958 square feet. This 0.60 FAR is requested by utilizing the Redevelopment Plans FAR base allowance of 0.50 and a 0.10 bonus for employing Art Deco as the selected architectural style.

- 5. Building Height.** *Residential structures for a project less than a city block shall comply with the following building height and roof design requirements: i. The maximum height shall not exceed 24 feet to the eave line and 36 feet to the peak of the roof for primary structures, ii. The maximum height shall not exceed 20 feet to the eave line and 32 feet to the peak of the roof for secondary or accessory structures, iii. The maximum slope of any roof angle shall not exceed 12/12. iv. Dormers shall not exceed 50-percent of any roof surface.*

The proposed building will have a building height of 22-feet at the top of the flat roof.

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- 6. Development Across Multiple Lots.** *Structures shall be separated by zoning district setbacks, however, if not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line which shall be equal to or greater than the combined side yard setbacks that would be required for each lot.*

The two-unit redevelopment is subject to and complies with the NT-2 zoning district regulations. This criterion is not applicable to this case as it involves one platted lot.

- 7. Single Corner Lots.** *Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.*

This criterion is not applicable to this case.

- 8. Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, extensions of the traditional grid roadway network which 1) abut the perimeter of the project area and 2) would be logically extended through the project area shall be required. Compliance with applicable subdivision and public improvement regulations shall be required.*

This criterion is not applicable to this case.

- 9. Non-Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, roadway and pedestrian networks shall meet the following requirements: i. There should be at least two (2) points of entry into the project, ii. Sidewalk connections shall be made to surrounding streets, homes and businesses, iii. Streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or are anticipated to be redeveloped in the future.*

This criterion is not applicable to this case.

- 10. Density and Intensity.** *For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal mobile home spaces(lots) within the park prior to redevelopment, or 140-percent of the maximum density of the future land use designation assigned to the property, whichever is less.*

This criterion is not applicable to this case.

FAR Bonuses: The criteria for Floor Area Ratio bonuses are set forth under Subsection 16.70.040.1.15.

FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonus and shall be developed following the development across multiple lots criteria indicated in Section 16.70.040.1.15.

In this case, the subject property consists of one platted lot and the request does utilize a design bonus.

- a. An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's neighborhood design review manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.

The Art Deco building contains its customary flat roof atop the two-story building with concealing parapet walls, stucco siding, symmetric windows, centralized door placement, and stylized banding motifs placed on all sides of the structure.

- (b) An FAR Bonus of 0.05 shall be granted when structures are finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood "Hardi-Plank" or the equivalent, rough textured or exposed aggregate stucco, tile, brick or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.*

Staff reviewed the plans for consistency with the St. Petersburg's Design Guidelines for Historic Properties to ensure that it meets the design requirements for the Art Deco architectural style and determined that it is in compliance.

Public Comments: The subject property is located within the Historic Uptown Neighborhood. The Neighborhood Association and all property owners within 300-feet of the subject property were notified of the request. At the time of completion of this report, Staff has not received comments in support or objection to the request.

STAFF RECOMMENDATION: Based on a review of the Redevelopment application according to the evaluation criteria contained within the City Code, the Development Services Department Staff recommends **APPROVAL** of the requested Redevelopment Plan.

CONDITIONS OF COMMISSION ACTION: If the application is approved consistent with the site plan submitted with this application, the Planning and Development Department Staff recommends that the approval shall be subject to the following conditions:

1. The plans submitted for permitting shall substantially resemble the plans attached to this report. Significant modifications to the plans shall require a new application and public hearing.
2. The site plan submitted for permitting shall depict the locations and setbacks of all proposed ancillary equipment such as garbage cans, air conditioning units, and irrigation equipment. These items shall be provided within interior yards and shall be screened with compliant fencing, finished walls or perimeter landscaping.
3. The plans submitted for permitting shall include all necessary information to demonstrate compliance with the landscaping and irrigation requirements set forth under City Code Sections 16.40.060.2.1.3. and 16.40.060.2.1.4., as applicable.
4. This approval shall be valid through February 1, 2026. Substantial construction shall commence prior to this expiration date. The applicant may request up to two two-year extensions from the POD prior to the expiration. Requests for extension must be filed in writing to the POD prior to the expiration date.

Report Prepared By:

/s/ Shervon Chambliss

1/24/2023

Shervon Chambliss
 Planner II
 Development Review Services Division
 Planning and Development Services Department

Date

Report Prepared For:

/s/ Corey Malyszka

01/24/23

Corey Malyszka, AICP
 Zoning Official
 Development Review Services Division
 Planning and Development Services Department

Date

Attachments: Application, Survey, Plans, Plat Map, Location Map, Property Card Interpretation, Sunbiz.org Registration



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Included in this packet:

- Application
- Affidavit to Authorize Agent
- Data Sheet
- General Information
- Narrative
- Neighborhood Worksheet
- Public Participation Report

**Planning and
Development Services
Department**

**Development Review
Services**

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731
(727) 893-7471

UPDATED: 03-24-2020

REDEVELOPMENT

Application No. _____

List of Required Submittals

Only complete applications will be accepted:

- Completed Redevelopment Application, Data Sheet, and Narrative
- Pre-application Meeting Notes (provided by staff at required pre-application meeting)
- Affidavit to Authorize Agent, if Agent signs application
- Application fee payment
- Public Participation Report (for public hearing cases)
- Eligibility (Property Card Interpretation [PCI] or valid occupational license for grandfathered units)
- 2 copies of Site Plan or Survey of the subject property:
 - To scale on 8.5" x 11" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions and exact locations of all property lines, structures, parking spaces, and landscaping
- 2 copies of Floor Plans:
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - Locations of all doorways, windows, and walls (interior and exterior)
 - Dimensions and area of each room, including closets
 - Dimensions and area of each dwelling unit, excluding storage areas
- Landscape Plans:
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - North arrow
 - Legend identifying plants by scientific and common name, size, spacing, and quantity
 - Location, type, and size in diameter at breast height (d.b.h.) of all specimen trees indicated to be preserved or removed
- 2 copies of Elevation Drawings:
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - Depicts all sides of existing and proposed structure(s)

PDF of application documents and drawings (may be emailed to Staff Planner) **Flush Drive*

The following items are optional, but strongly suggested:

- Neighborhood Worksheet
- Photographs of the subject property and structure(s)

A Pre-Application Meeting is required prior to submittal.

To schedule, please call (727) 892-5498.

Completeness Review by City Staff: _____



REDEVELOPMENT

Application No. _____

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

GENERAL INFORMATION	
NAME of PROPERTY OWNER: 3W, LLC	
Street Address: 1703 E BETHANY HOME RD	
City, State, Zip: PHOENIX, AZ 85016	
Telephone No: 480-635-2275	Email Address: RILEYMUDD11@GMAIL.COM
NAME of AGENT or REPRESENTATIVE: GRIFFIN GOUDREAU	
Street Address: 4110 HELENA ST. NE	
City, State, Zip: ST PETERSBURG, FL 33703	
Telephone No: 408-507-3523	Email Address: GOUDREAU@GMAIL.COM
PROPERTY INFORMATION:	
Street Address or General Location: 814 14TH ST N ST. PETERSBURG, FL 33703	
Parcel ID#(s): 13-31-16-10062-000-0870	
DESCRIPTION OF REQUEST: Reinstate the abandoned second dwelling unit so we can then redevelop the legal two dwelling units into a duplex.	
PRE-APPLICATION DATE: 08/24/2022	PLANNER: Chervon Chambliss

FEE SCHEDULE

Redevelopment Plan Review \$500.00
 Variance - First Variance \$350.00
 Each additional Variance \$100.00
Cash, credit, and checks made payable to the "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested redevelopment. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:  Date: 9/11/22

Printed Name: Griffin Goudreau

*Affidavit to Authorize Agent required, if signed by Agent.



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REDEVELOPMENT

AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: _____

This property constitutes the property for which the following request is made

Property Address: _____

Property ID No.: _____

Request: _____

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): _____

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I (we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): _____

Printed Name _____

Sworn to and subscribed on this date

Identification or personally known: _____

Notary Signature: _____

Date: _____

Commission Expiration (Stamp or date): _____



REDEVELOPMENT

DATA SHEET

ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED.
FAILURE TO COMPLETE THIS FORM WILL RESULT IN DEFERRAL OF YOUR APPLICATION.

DATA TABLE				
1.	Zoning Classification: NT-2			
2.	Existing Land Use Type(s): 0810 (Single Family - more than one house per parcel)			
3.	Proposed Land Use Type(s): Duplex			
4.	Area of Subject Property: Total Living: SF: 1,117 , Total Gross SF: 1,764			
5.	Variance(s) Requested: N/A			
6.	Gross Floor Area (total square feet of building(s))			
	Existing:	1,764	Sq. ft.	
	Proposed:	3,944	Sq. ft.	
	Permitted:	3,960	Sq. ft.	
7.	Floor Area Ratio (total square feet of building(s) divided by the total square feet of entire site)			
	Existing:	.27	Sq. ft. 1,764	
	Proposed:	.59	Sq. ft. 3,944	
	Permitted:	.60 (with bonuses)	Sq. ft. 3,960	
8.	Building Coverage (first floor square footage of building(s))			
	Existing:	1,764	Sq. ft.	26.72 % of site
	Proposed:	2,826	Sq. ft.	42.82 % of site
	Permitted:	3,630	Sq. ft.	55.00 % of site
9.	Open Green Space (include all green space on site; do not include any paved areas)			
	Existing:	4,836	Sq. ft.	73.27 % of site
	Proposed:	1,375	Sq. ft.	20.83 % of site
10.	Interior Green Space of Vehicle Use Area (include all green space within the parking lot and drive lanes)			
	Existing:	n/a	Sq. ft.	% of vehicular area
	Proposed:	n/a	Sq. ft.	% of vehicular area

DATA TABLE (continued page 2)					
11.	Paving Coverage (including sidewalks within boundary of the subject property; do not include building footprint(s))				
	Existing:		Sq. ft.		% of site
	Proposed:		Sq. ft.		% of site
12.	Impervious Surface Coverage (total square feet of all paving, building footprints and other hard surfaced areas)				
	Existing:	1,764	Sq. ft.	26.72	% of site
	Proposed:	3,231	Sq. ft.	48.95	% of site
	Permitted:	4,290	Sq. ft.	65.00	% of site
13.	Density (units per acre)				
		<u>Sq. Ft. or Acre(s)</u>		<u>No. of Employees</u>	<u>No. of Clients (C.R. / Home)</u>
	Existing:	2	Existing:		Existing:
	Proposed:	2	Proposed:		Proposed:
	Permitted:	2			
14 a.	Parking (Vehicle) Spaces				
	Existing:	0	includes	0	disabled parking spaces
	Proposed:	2	includes	0	disabled parking spaces
	Required:	2	includes	0	disabled parking spaces
14 b.	Parking (Bicycle) Spaces				
	Existing:	0	Spaces		% of vehicular parking
	Proposed:	0	Spaces		% of vehicular parking
	Required:	0	Spaces		% of vehicular parking
15.	Building Height				
	Existing:	20 to peak of roof	Feet	1	Stories
	Proposed:	29.6 to peak of roof	Feet	2	Stories
	Permitted:	36ft to peak of roof	Feet	2	Stories
16.	Construction Value				
	What is the estimate of the total value of the project upon completion? \$ 1,200,000.00				
<p><i>Note: See Drainage Ordinance for a definition of "alteration." If applicable, please be aware that this triggers Drainage Ordinance compliance. Please submit drainage calculations to the Engineering Department for review at your earliest convenience. The DRC must approve all Drainage Ordinance variances.</i></p>					



REDEVELOPMENT

GENERAL INFORMATION (PAGE 1)

Pre-application Meeting

All applicants are required to schedule a pre-application meeting. Meetings may be held by phone or via email. If an application is submitted without a pre-application meeting, and the application is deemed to be incomplete or incorrect, the application may be delayed. Please call to schedule: 727-893-7471.

Process

If the request is for redevelopment of one (1) accessory residential unit without Variances, the application may be reviewed and approved administratively by staff with or without conditions. If the request is for redevelopment of more than one (1) accessory residential unit, or the request includes Variances, then Commission review shall be required.

Public Participation Report (for public hearing cases)

For cases requiring public hearing applicants are required to contact the applicable Neighborhood Association President and complete the Public Participation Report prior to submittal of an application. Public hearing applications without the Public Participation Report will not be accepted. The contact information will be provided to the applicant by staff at the pre-application meeting.

Application Submittal

Only complete applications will be accepted. Complete applications must be filed by 2:00 p.m. on the application deadline date.

Site Plan, Floor Plans, and Elevation Drawings

All applications require a detailed, accurate site plan or survey, floor plans, and elevation drawings. If the redevelopment application requests modification to existing landscaping or installation of new landscaping then landscaping plans shall be required. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, elevation drawings, or landscape plans that are incomplete, illegible, unclear, or do not meet the criteria listed on the "List of Required Submittals." Such determinations are made at the discretion of the City.

Commission Review

By applying to the Commission, the applicant grants permission for staff and members of the Commission to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise staff in writing at the time of application submittal. Any Code violations found by the City Staff or the Commission members during review of the subject case will be referred to the Codes Compliance Assistance Department.

Variances

If Variances are requested as part of the redevelopment, the Variance application, narrative, and fee must be included at the time of application.



REDEVELOPMENT

GENERAL INFORMATION (PAGE 2)

Legal Notification

All applications requiring Commission review are required by Florida Statute and City Code to provide public notification of requested variances, reinstatements of grandfathered uses, and redevelopment plans. The applicant will be required to post a sign on the subject property and send via the U.S. Postal Service by "Certificate of Mailing" notification letters to all property owners within 200 feet of the subject property. The City will provide one (1) original notification letter, a list of properties, mailing labels, sign, and procedures to complete the posting of the sign and the notification of property owners. These legal notifications must be completed by the dates noted on the Commission schedule with verification of mailing returned to staff within seven (7) days of the meeting date.

Public Hearing

Applications which require public hearing will be heard by the Commission on the dates listed on the Commission schedule. The public hearings begin at 2:00 P.M. in the City Council Chambers at City Hall, located at 175 5th Street North. All proceedings are quasi-judicial. Therefore, it is required that the property owner or authorized representative attend the hearing.

Approvals

Permits, inspections, business taxes, and certificates of occupancy may be required. All conditions of approval must be completed and approved by the date specified in the report. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the Commission or POD (person officially designated) does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes. Applicants are advised to contact the Construction Services and Permitting Division at (727) 893-7231 to determine if any other regulations may affect a given proposal.

Standards for Approval per Section 16.70.040.1.15

- E. **Standards for Review.** In addition to the standards of review for a zoning and planning decision generally, a decision rendered under this section shall be guided by the following factors:
1. ***Criteria.*** Redevelopment plans shall be reviewed for compliance with the criteria set forth in the following chart:

REDEVELOPMENT PLAN		
Criterion	Project less than a city block	Project equal to or greater than a city block
<p>Building Type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.)</p> <p>-----</p> <p>Building Scale (e.g. one-story or two-story principal structures)</p> <p>-----</p> <p>Building Setbacks (including both perimeter and interior setbacks)</p>	Structures shall be required to match the predominant building type, setbacks and scale in the block face across the street or abutting residential uses.	Structures on the perimeter of the project shall be required to match the predominant building type, setbacks, and scale in the block face across the street or abutting residential uses. Structures on the interior of the project shall comply with the requirements of the zoning district.
<p>Site Development and Orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions)</p>	Structures shall be required to match the predominant pattern in the block face across the street or abutting residential uses. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.	Structures on the perimeter of the project shall be required to match the predominant development pattern in the block face across the street or abutting residential uses. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use. Structures on the interior of the project shall comply with requirements of the zoning district.
Additional criterion for all projects		
<p>Building Mass</p>	Building mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be the existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater or the FAR plus bonuses allowed in the zoning district. Bonuses to this FAR are listed below. FAR shall include all enclosed space, including garage and storage space, except that open porches (not screened) and the first 300 square feet of garage space shall be excluded from the existing FAR for each unit.	
<p>Building Height</p>	Residential structures for: (1) a project less than a platted block, or (2) on the perimeter of a project equal to or greater than a platted block shall comply with the building height and roof design requirements of the zoning district.	
<p>Development Across Multiple Lots (for redevelopment containing more than two lots and having structures constructed across platted lot lines, the original lot lines shall be respected through building articulation)</p>	<ol style="list-style-type: none"> 1. Structures should be separated by zoning district setbacks; however, if the structures are not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line, equal to or greater than the combined side yard setbacks that would be required for each lot; 2. Both the width and depth of the break shall be equal to or greater than the dimension of the combined side yard setbacks. 	

Additional criterion for all projects	
Single Corner Lots	Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.
Traditional Grid Roadway network	For projects equal to or greater than a platted block, extensions of the traditional grid roadway network which: (1) abut the perimeter of the project area; or (2) would logically be extended through the project are required. Compliance with applicable subdivision and public improvement regulations is required.
Non-Traditional Roadway Network	For projects equal to or greater than a platted block, roadway and pedestrian networks shall meet the following requirements: <ol style="list-style-type: none"> 1. There shall be at least two points of entry into the project; 2. Sidewalk connections shall be made to surrounding streets; 3. Streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or anticipated to be redeveloped in the future.
Density and Intensity	<p>Redevelopment projects shall not exceed the legally grandfathered number of units or intensity of use (e.g. if the use is office, it cannot change to a more intensive grandfathered use such as retail).</p> <p>For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal home unit spaces (lots) within the park prior to redevelopment, or 140 percent of the maximum density of the future land use designation assigned to the property, whichever is less. No variance from this requirement shall be approved.</p>

2. **Perimeter.** Perimeter requirements shall not apply on portions of the property that abut or across the street from a nonresidential use or a water body greater than 150 feet wide.
3. **Floor Area Ratio Bonus.** FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonus and shall be developed following the Development across Multiple Lots criteria indicated in the chart above.
 - a. An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.
 - b. An FAR Bonus of 0.05 shall be granted when structures are finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood, "Hardi-Plank" or the equivalent, rough textured , or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock-down stucco shall not qualify for this bonus.



REDEVELOPMENT

NARRATIVE (PAGE 1)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. A separate letter addressing each of the criteria may be provided as a supplement to this form.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 814 14th St. N	Case No.:
Detailed Description of Project and Request: Demolish existing 2 SFH dwelling units and detached garage to develop two conjoined townhome units	
<p>1. Building Type. Describe how the proposed building type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.) will match the predominate building type in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building type for perimeter structures will match the predominate building type in the block face across the street.</p> <p>The proposed building type (two-story duplex) will match the predominate building type on the block. The abutting neighbor on the south side is a one story single family home with a two story ADU in the back with multiple units. The abutting north side neighbor is a 6 unit multi-family apartment building. The surrounding buildings that line 14th St N (S of 9th Ave) are predominately two story multi-family buildings.</p> <p>See attachment #1 to the narrative on the next page or in the data room emailed under "Attachment #1 to the Narrative"</p>	
<p>2. Building Setbacks. Describe how the proposed building setbacks (including both perimeter and interior setbacks) will match the predominate building setbacks in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building setbacks for perimeter structures will match the predominate building setbacks in the block face across the street.</p> <p>The proposed building setbacks will be conforming to the current zoning (NT-2) which are more restrictive than the predominate building setback of the existing structure and surrounding Buildings.</p> <p>See attachment #1 to the narrative on the next page or in the data room emailed under "Attachment #1 to the Narrative"</p>	
<p>3. Building Type. Describe how the proposed building scale (one-story or two-story principle structures) will match the predominate building scale in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building scale for perimeter structures will match the predominate building scale in the block face across the street.</p> <p>The proposed two-story duplex matches the surrounding scale for structures on the same city block.</p> <p>See attachment #1 to the narrative on the next page or in the data room emailed under "Attachment #1 to the Narrative"</p>	



REDEVELOPMENT

NARRATIVE (PAGE 2)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
<p>4. Site Development and Orientation.</p>	<p>Describe how the proposed site development and orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions) will match the predominate development pattern in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed development pattern for perimeter structures will match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.</p>
	<p>The proposed orientation will conform with with the current zoning NT-2 standards and we will not be pursuing any variances at this time.</p>
	<p>See attached architectural elevations and rederings that illustrate our intention of using the traditional design as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations.</p>
	<p> </p>
	<p> </p>
<p>5. Floor area Ratio Bonuses.</p>	<p>FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonuses. If bonuses are required, please complete the following questions:</p>
<p>a.</p>	<p>FAR Bonus of 0.10 – An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations. Describe the principle architectural style of the proposed building and explain how it uses the correct proportions, fenestration patterns, details, and materials of the recognized style.</p>
	<p>The principle architectural style will be art-deco using the principle building elements as required by the code for the recognized style.</p>
	<p>See attached architectural elevations and rederings that illustrate our intention of using the traditional design as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations.</p>
	<p> </p>
	<p> </p>
<p>b.</p>	<p>FAR Bonus of 0.05 – Describe whether the proposed building is finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood "Hardi-Plank" or the equivalent, rough textured or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.</p>
	<p>See attached architectural elevations and rederings that illustrate our intention of using the traditional design as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations.</p>
	<p> </p>
	<p> </p>
	<p> </p>



st.petersburg
www.stpete.org

REDEVELOPMENT

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address:	Case No.:
Description of Request:	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
2. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
3. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
4. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



REDEVELOPMENT

PUBLIC PARTICIPATION REPORT

In accordance with LDR Section 16.70.040.1.F., "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a decision requiring a streamline review or public hearing. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, (except when the application is for a local historic district) but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

NOTE: This Report may be updated and resubmitted up to 10 days prior to the scheduled Public Hearing.

APPLICANT REPORT

Street Address:

1. Details of techniques the applicant used to involve the public

(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal

(b) Content, dates mailed, and number of mailings; including letters, meeting notices, newsletters, and other publications

(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located

2. Summary of concerns, issues, and problems expressed during the process

NOTICE OF INTENT TO FILE

A minimum of ten (10) days prior to filing an application for a decision requiring Streamline or Public Hearing approval, the applicant shall send a copy of the application by email to the Council of Neighborhood Associations (CONA) (c/o Judy Landon at variance@stpeteconacona.org), by standard mail to Federation of Inner-City Community Organizations (FICO) (c/o Kimberly Frazier-Leggett at 3301 24th Ave. S., St. Pete 33712) and by email to all other Neighborhood Associations and/or Business Associations within 300 feet of the subject property as identified in the Pre-Application Meeting Notes. The applicant shall file evidence of such notice with the application.

- Date Notice of Intent to File sent to Associations within 300 feet, CONA and FICO: 9/11/22
- Attach the evidence of the required notices to this sheet such as Sent emails.

Attachment #1 to Narrative

842 14TH ST N

Mixed use building on premises

Property Use: 0810 (Single Family - more than one house per parcel)



814 14th St. N



1314 9TH AVE N

Triplex

Property Use: 0810 (Single Family - more than one house per parcel)



825 14TH ST N

Triplex

Property Use: 0820 (Duplex-Triplex-Fourplex)



830 14TH ST N

Multi-Family

Property Use: 0822 (Apartments (5-9 units))



811 14TH ST N

Multifamily

Property Use: 0822 (Apartments (5-9 units))



812 14TH ST N

Triplex

Property Use: 0810 (Single Family - more than one house per parcel)



805 14TH ST N

Duplex

Property Use: 0820 (Duplex-Triplex-Fourplex)



729 14TH ST N

Multi-Family

Property Use: 0822 (Apartments (5-9 units))

C/O Kimberly Frazier-Leggett

My name is Griffin Goudreau and my company is applying for reinstatement and redevelopment of the following parcel in the historic uptown neighborhood: 814 14th St. N St Petersburg, FL 33703

We are proposing to build two art deco-inspired townhomes (duplex) in place of a currently abandoned and uninhabitable 1918 duplex.

Please see the following applications for reinstatement and development as well as architectural drawings and other necessary documents in the flash drive included herein.

We welcome any questions or concerns so please write me back at goudreaux@gmail.com or you can give me a call at (408) 507-3523

Best,

Griffin Goudreau

3W, LLC

9/11/22, 8:18 PM

Gmail - 814 14th St. - Reinstatement and Redevelopment of Abandoned House



Griffin Goudreau <goudreau@gmail.com>

814 14th St. - Reinstatement and Redevelopment of Abandoned House

Griffin Goudreau <goudreau@gmail.com>
To: variance@stpetecona.org

Sun, Sep 11, 2022 at 8:17 PM

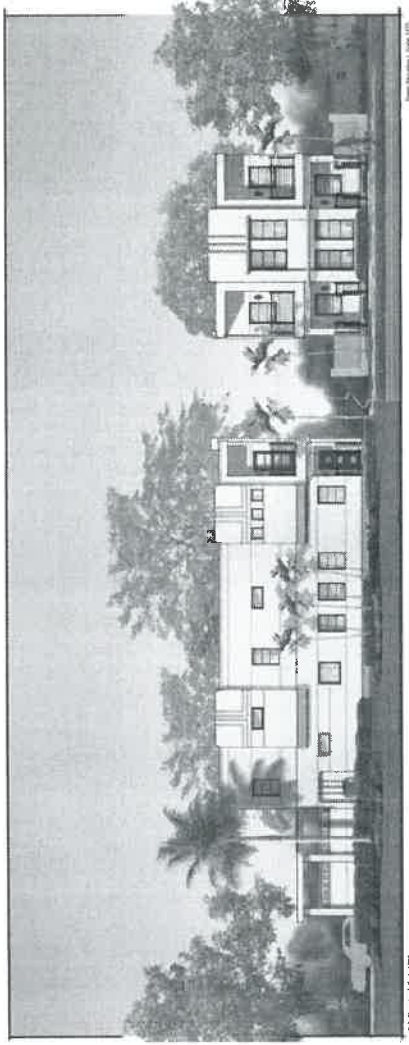
Hi Judy,

My name is Griffin Goudreau and my company is applying for reinstatement and redevelopment of the following parcel in the historic uptown neighborhood:

814 14th St. N St Petersburg, FL 33703

We are proposing to build two art deco-inspired townhomes (duplex) in place of a currently abandoned and uninhabitable 1918 duplex.





Please see the following applications for reinstatement and development as well as architectural drawings and other necessary documents.

We welcome any questions or concerns so please write me back at goudreaux@gmail.com or you can give me a call at (408) 507-3523

Best,

Griffin Goudreau
3W, LLC

6 attachments

 Attachment #1 to Narrative.pdf

542K

 Redevelopment Fillable Application 03-24-2020.pdf

462K

 PCI - 22-41000012 - 814 14th St N (1).pdf

1566K

 Reinstatement Fillable Application 03-24-2020.pdf

469K

 Archetctual Drawings 09-09-2022 Binder (1).pdf

3074K

 Rendering - 14th St Deco 090822 (1) (1).pdf

2740K



Griffin Goudreau <goudreaux@gmail.com>

814 14th St. - Reinstatement and Redevelopment of Abandoned House

Griffin Goudreau <goudreaux@gmail.com>

To: "historicoptown@gmail.com" <historicoptown@gmail.com>

Sun, Sep 11, 2022 at 8:13 PM

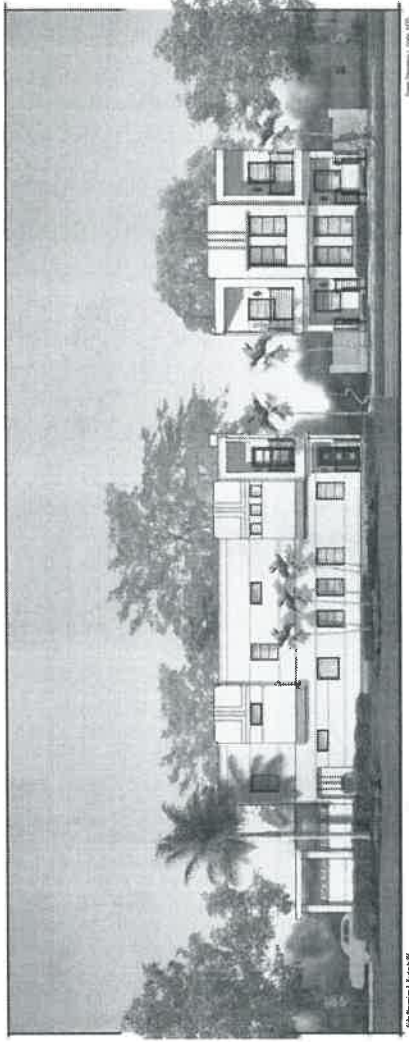
Hi Nori,

My name is Griffin Goudreau and my company is applying for reinstatement and redevelopment of the following parcel in the historic uptown neighborhood:

814 14th St. N St Petersburg, FL 33703

We are proposing to build two art deco-inspired townhomes (duplex) in place of a currently abandoned and uninhabitable 1918 duplex.





Please see the following applications for reinstatement and development as well as architectural drawings and other necessary documents.

We welcome any questions or concerns so please write me back at goudreaux@gmail.com or you can give me a call at (408) 507-3523

Best,


Griffin Goudreau
3W, LLC

6 attachments

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469K

 Archetectual Drawings 09-09-2022 Binder (1).pdf
3074K

 Rendering - 14th St Deco 090822 (1) (1).pdf
2740K



Pre-Application Meeting Notes

Meeting Date: 08/24/2022 Zoning District: NT-2

Address/Location: 814 14th Street North

Request: To reinstate on for a total of two dwelling units for townhome redevelopment.

Type of Application: Reinstatement/Redevelopment Plan Staff Planner for Pre-App: SAC

Attendees: Griffin Goudreau

Neighborhood and Business Associations within 300 feet:

Assoc.	Contact Name:	Email:	Phone:
HISTORIC UPTOWN NBRHDS	Nori Morimoto	historicoptown@gmail.com	N/A

(See Public Participation Report in applicable Application Package for CONA and FICO contacts.)

Notes: Per PCI 22-41000012, two dwelling units were lawfully constructed on-site, however one of the two units is considered abandoned for failure to maintain a current business tax license and requires reinstating. Staff noted that both application may be applied for together. The reinstatement application materials shall include a floor plan and site plan of the existing conditions of the site. The redevelopment plan attachments shall demonstrate compliance with the NT-2 districts development dtandards, parking requirements, and shall specify if any which bonuses are being sought. 10 day notices of intent to file required to be provided to CONA, FICO (found on the last page of the applications attached), and the Historic Uptown Neighborhood Associations.



August 18, 2022

3W, LLC
4110 Helena Street NE
St. Petersburg, FL 33703

RE: PROPERTY CARD INTERPRETATION: 22-41000012
Property Generally Located At: 814 14th Street N
Parcel ID No.: 13-31-16-10062-000-0870
Legal Description: BON AIR LOT 87

To Whom It May Concern:

A Property Card Interpretation letter has been completed for the above-referenced property. The following findings have been made:

LEGAL NUMBER OF DWELLING UNITS

1. The property is zoned NT-2, which allows one single-family home and one accessory dwelling unit on the subject property in compliance with the land development regulations. The City will recognize more than one dwelling unit on the property if the units were legally constructed.
2. The property card for the lot, which covers the period between the inception of the property card, (1935), and 1987, indicates there is a frame cottage with five rooms and a two-car garage and a frame cottage with four rooms. There are also entries related to plumbing and electrical permits that were issued (see attached property card).
3. From 1988 to present, one additional roofing permit was issued for the property (BP88-10258030).
4. The Pinellas County Property Appraiser's card for the property shows two residential buildings and one garage on the property.
5. Accordingly, the interpretation can be made that **two (2) dwelling units were legally constructed on the property**. Any additional units on the property were not legally constructed.

LEGAL STATUS OF DWELLING UNITS

1. When there are more units on the property than permitted by the current zoning, the additional units are considered grandfathered dwelling units. In this case, there is one (1) additional unit.
2. Dwelling units may lose their grandfathered status and become abandoned for the following reasons:
 - a. Not occupied due to violations of building, nuisance, or other public health, welfare, and safety codes for a continuous period of one year or for intermittent periods amounting to one year or more within any two-year period.



P.O. Box 2842
St. Petersburg, FL 33731-2842
T: 727-893-7111

- b. Not occupied for a continuous period of two years. For residential units and uses, such occupancy must be as a tenant or owner and may not be incidental to the occupant's employment as caretaker or security person for the property.
 - c. No business tax certificate issued for the property or the units that are subject to abandonment for a continuous period of two years or for intermittent periods amounting to two years or more within any three-year period.
3. The Pinellas County Property Appraiser's website shows that the property has not been homesteaded since at least 1996.
4. City Business Tax has not been paid on the two rental units on the property since at least 2004. Therefore, **one (1) dwelling unit is legally allowed on the property**. The second dwelling unit is considered abandoned and is required to be Reinstated before it is utilized as a second dwelling unit.
5. If the owner desires to reinstate the second unit, then approval of a Reinstatement application is required. Please contact DRC@stpete.org to schedule a required pre-application meeting for a Reinstatement. Please be advised that applicants seeking reinstatement are routinely required to bring their properties into compliance with current codes, including paved parking, landscaping, building improvements, and improvements to correct other deficiencies that may be present on the property.
6. If the property owner desires to substantially modify the units, a Redevelopment Application may be submitted to the Development Review Services Division of the City prior to demolition or modification of the units and after a Reinstatement has been approved. Please contact DRC@stpete.org to schedule a required pre-application meeting for a Redevelopment Plan.

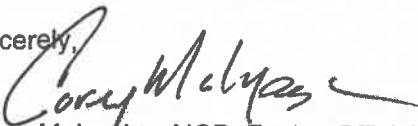
Appeal

If you have evidence that the findings of this interpretation are incorrect, you may submit a reconsideration request within 15 days of the receipt of this letter. An appeal must be filed within 10 days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. An appeal is a statement on your part that you do not believe that the findings of this determination are correct and that you have evidence to refute the finding. For a reconsideration or appeal, you must submit a cover letter and whatever evidence is referenced in your letter. The 30-day deadline does not apply to applications for reinstatement.

This determination is effective as of the date of this letter and is subject to change upon any future amendment to the Land Development Regulations. Future development on the subject parcel shall be subject to all applicable codes at time of permitting; including, but not limited to, Land Development Regulations and Building and Life Safety Codes.

If you have questions about the appeal or the Development Review Commission, please feel free to contact the Clerk at (727) 892-5498.

Sincerely,



Corey Malyszka, AICP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

Attachments: City Property Card, Pinellas County Property Card, Application

SUBDIVISION	BON AIR	✓ LOT	87	BLOCK
Location: 814 - 14th St. No. F Cottage & 2 car garage 5 rooms F Cottage 4 rooms	BUILDING	ELECTRICAL	13-3H/6	PLUMBING 6-6
		E8904B - 10/21/70 R Edward Novak Kelly REFLEC - 60-amps 1-2 (N. Upper E8905B - 10/21/70A R Edward Novak Kelly REFLEC - 60-amps 1-p (South Upper #E895004 - 4/20/88 - Ait Rhea - Lehmkuhl Elec - ungrade to 60 amrs relocate mtr, 10, #6 THHN. EXIST mtr. 814 1/2 Other SFA/frm Over		
		INSTALLATION		GAS
B - 8	SIGNS	SEWER		SEPTIC TANK

ELECTRIC

#E805005 - 4/20/88 - Ajit Rhea
Lehmkuhl Elec - upgrade serv to
60 amps, relocate mtr, 1Ø, #6
THHN CU, exist mtr. SEA/firm



PROPERTY CARD INTERPRETATION (PCI)

RECEIVED
 JUL 18 2022
 DEVELOPMENT REVIEW SERVICES

Application No. 22-4100012

A Property Card Interpretation (PCI) will identify lawful uses of property. All applications are to be filled out completely and correctly. Applications are submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): 3W, LLC	
Street Address: 4110 Helena St NE	
City, State, Zip: St. Petersburg, FL 33703	
Telephone No: 4085073523	Email Address: goudreaux@gmail.com
NAME of AGENT or REPRESENTATIVE:	
Street Address: 4110 Helena St NE	
City, State, Zip: St. Petersburg, FL 33703	
Telephone No: 4085073523	Email Address: goudreaux@gmail.com
PROPERTY INFORMATION:	
Street Address or General Location: 814 14th St N, St. Petersburg, FL	
Parcel ID#(s): 13-31-16-10062-000-0870	
Legal Description (may be attached):	

The fee for a property card interpretation application: \$60.00 (1st hour of research, plus \$50.00 per hour thereafter)
 Cash, credit, checks made payable to "City of St. Petersburg"

As owner of the subject property, I understand that a property card interpretation may have serious implications addressing the legality of my property. If my opinion differs from that of the PCI, I also understand that I have 15-days upon receipt of the PCI to request reconsideration, and 10-days upon receipt of the subsequent reconsideration to submit an appeal of the decision, which will be heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then I may apply for reinstatement.

Signature of Owner / Agent*:  Date: 7/18/22
*Affidavit to Authorize Agent required, if signed by Agent. UPDATED 09-30-16



PROPERTY CARD INTERPRETATION (PCI) NARRATIVE and CHECKLIST

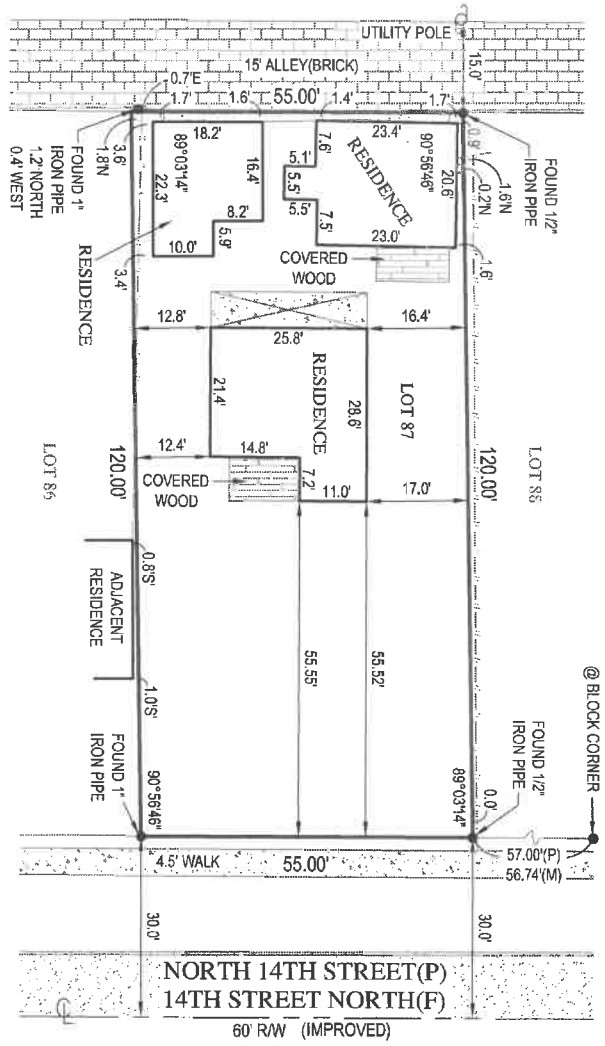
ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>A property Card Interpretation will research the grandfathered status of land use types at the subject property and may determine how many legal dwelling units may exist on the subject property.</p>
1. What is the current use of the property? 2 single family homes on one parcel
2. How many dwelling units exist at the property? 2
3. How many rooming units exist at the property? 2
4. Does the owner occupy the property as his or her permanent residence? No
5. When was the last time the property was owner-occupied? MONTH _____ YEAR _____
6. Are the dwelling units or rooming units currently occupied? No
a. If yes, how many units are currently occupied?
b. If yes, where are the units located within the structure(s)?
7. On what date did you purchase the property? 3/17/2022
CHECKLIST
<input type="checkbox"/> Completed PCI application form;
<input type="checkbox"/> Application fee;
<input type="checkbox"/> Affidavit to authorize agent, if agent signs;
<input type="checkbox"/> A floor plan for each dwelling nit or rooming unit drawn to scale with dimensions;
<input type="checkbox"/> Scaled, site plan of the entire property;
<input type="checkbox"/> Dimensions of the lot;
<input type="checkbox"/> Dimensions and locations of all buildings and other structures;
<input type="checkbox"/> Parking spaces;
<input type="checkbox"/> Ingress / egress points.

Notice: A request for reconsideration must be filed within 15-days following delivery of the PCI to the property owner. An appeal must be filed by the property owner within 10-days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then the property owner may apply for reinstatement.

LEGAL DESCRIPTION
 LOT 87, BONAIR, ACCORDING TO THE MAP OR PLAT THEREOF,
 AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC
 RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE: X
 COMMUNITY NUMBER: 125/48
 PANEL: 1210302219
 SUFFIX: H
 BASE FLOOD ELEVATION: N/A
 FIRM DATE: 08-24-2021
 FIRM EFFECTIVE DATE: 08-24-2021



SCALE: 1"=20'

- NOTES:**
1. LEGAL DESCRIPTION PROVIDED BY CLIENT
 2. NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 3. NO SURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
 5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

DATE OF FIELD WORK: 08-01-2022
 DATE OF MAP: 08-10-2022

VICINITY MAP
 NOT TO SCALE

LEGEND

- A/C AIR CONDITIONER
- B.F.P. BACKFLOW PREVENTER
- C.B.S. CONCRETE BLOCK STRUCTURE
- E.E. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L.B. LICENSED BUSINESS
- M. MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P. PLAT
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.K. PARKER KYLON MAIL
- P.B. PLAYBOOK
- P.K. PARKER KYLON MAIL
- R. RADUS
- C. CENTERLINE
- Q. QUAD
- A. AND
- M. MILE
- DELTA OR CENTRAL ANGLE
- CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE
- MISCELLANEOUS FENCE

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A
 TRUE AND CORRECT REPRESENTATION OF A SURVEY
 PREPARED UNDER MY DIRECTION, NOT VALID
 WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH T. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

6250 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

COMPASS SURVEYING

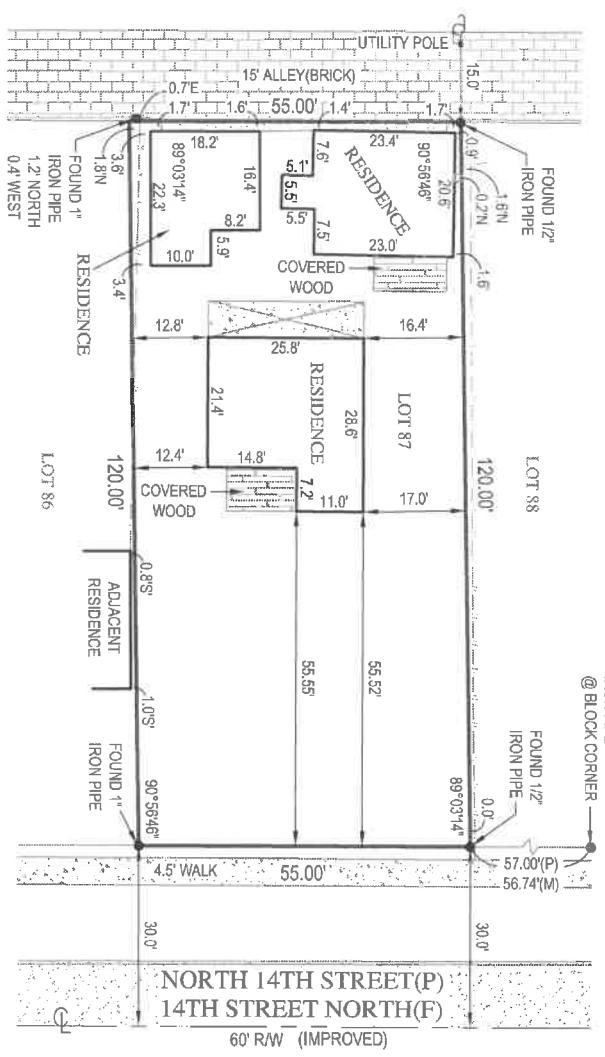
LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

C-535088
 08-01-2022
 1"=20'
 1 of 1

BOUNDARY SURVEY OF
 814 14TH STREET NORTH
 ST. PETERSBURG, FL. 33705
 PREPARED FOR
 GRIFFIN GOUDREAU

LEGAL DESCRIPTION
 LOT 87, BON-AIR, ACCORDING TO THE MAP OR PLAT THEREOF,
 AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC
 RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE: X
 COMMUNITY NUMBER: 125148
 PANEL: 12103C0219
 SUFFIX: H
 BASE FLOOD ELEVATION: N/A
 FIRM DATE: 08-24-2021
 FIRM EFFECTIVE DATE: 08-24-2021



SCALE: 1"=20'

VIGNETTE MAP
 NOT TO SCALE

LEGEND

- A.C. AIR CONDITIONER
- B.F.P. BACKFLOW PREVENTER
- C.B.S. CONCRETE BLOCK STRUCTURE
- E.L. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L.B. LENGTH
- L.B. LICENSED BUSINESS
- M.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.C.V.D. NORTH AMERICAN GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P. PLAT
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.G. PAGE
- P.B. PLAT BOOK
- P.K. PARKER RYLLON NAIL
- R. RADIUS
- Q. CENTERLINE
- A. AND NUMBER
- Δ. DELTA
- ∠. ANGLE
- ∠. CENTRAL ANGLE
- CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE
- MISCELLANEOUS FENCE

- NOTES:**
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 3. NO SURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
 5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

DATE OF FIELD WORK: 08-01-2022
 DATE OF MAP: 08-10-2022

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

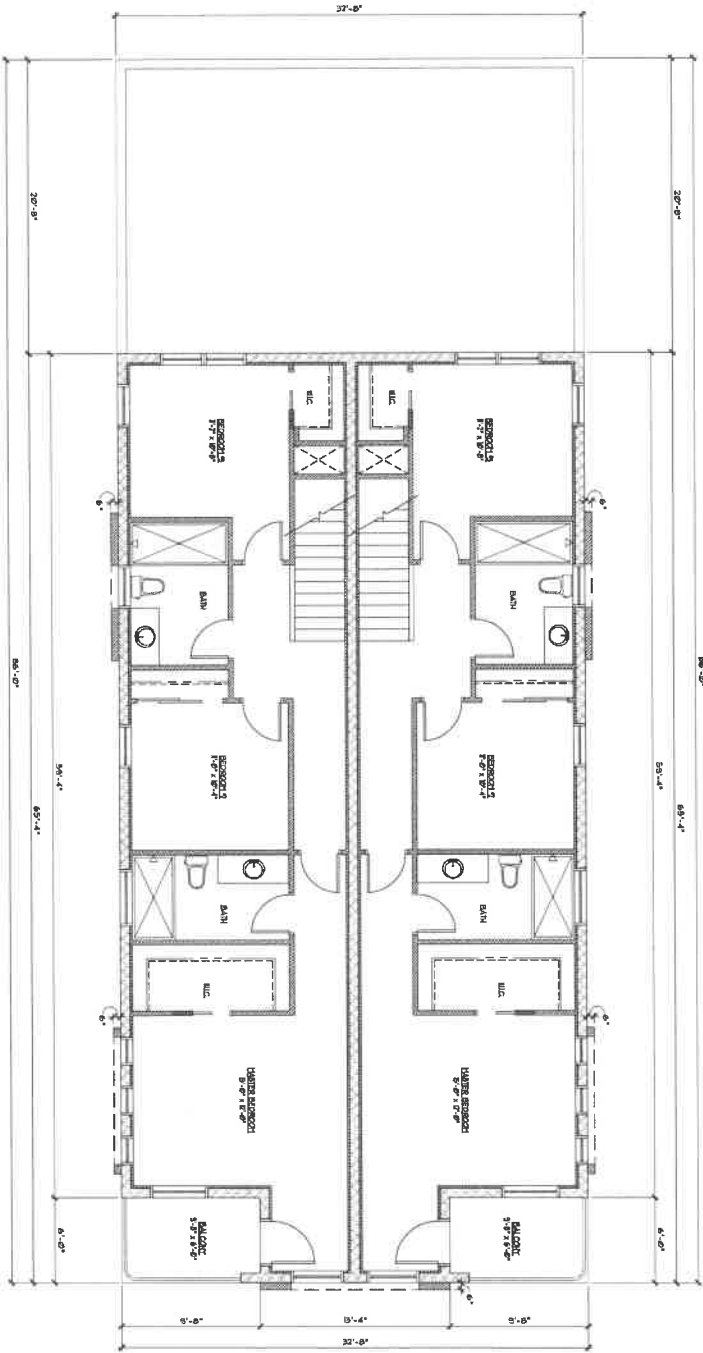
6250 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

COMPASS SURVEYING

LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

C-539809
 08-01-2022
 1"=20'
 1 of 1

BOUNDARY SURVEY OF
 814 14TH STREET NORTH
 ST. PETERSBURG, FL. 33705
 PREPARED FOR
 GRIFFIN GOUDREAU



FLOOR PLAN
SCALE: 1/8" = 1'-0"

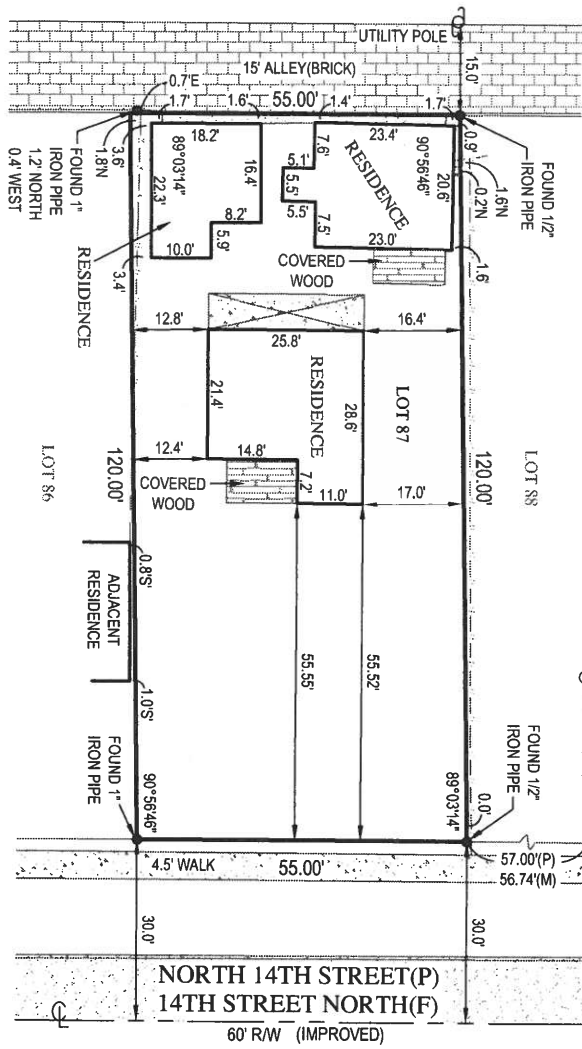
WALL LEGEND

ALL EXTERIOR WALLS TO BE CONCRETE MASONRY WITH REINFORCED CONCRETE.

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LEGAL DESCRIPTION
 LOT 87, BON-AIR, ACCORDING TO THE MAP OR PLAT THEREOF,
 AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC
 RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE: X
 COMMUNITY NUMBER: 125148
 PANEL: 121030C0219
 SUFFIX: H
 BASE FLOOD ELEVATION: N/A
 FRM DATE: 08-24-2021
 FRM EFFECTIVE DATE: 08-24-2021



- NOTES:**
1. LEGAL DESCRIPTION PROVIDED BY CLIENT
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 4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
 5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

DATE OF FIELD WORK: 08-01-2022
 DATE OF MAP: 08-10-2022

VICINITY MAP
 NOT TO SCALE

LEGEND

- A/C AIR CONDITIONER
- B.F.P. BACKFLOW PREVENTER
- C.B.S. CONCRETE BLOCK STRUCTURE
- E.L. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L.B. LENGTH
- L.B. LICENSED BUSINESS
- M. MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.V.D. NORTH AMERICAN VERTICAL DATUM
- O.S.B. OFFICIAL RECORDS BOOK
- P. PLAT
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- P.R.M. PERMANENT REFERENCE MONUMENT
- P.G. PAGE
- P.B. PARKER KYLON NAIL
- R.C. RADIUS
- C. CENTERLINE
- A. AND
- D. DIMENSION
- D.C. DIRECTIONAL CENTRAL ANGLE
- C. CONCRETE
- C. CHAIN LINK FENCE
- W. WOOD FENCE
- M. MISCELLANEOUS FENCE

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A
 TRUE AND CORRECT REPRESENTATION OF A SURVEY
 PREPARED UNDER MY DIRECTION, NOT VALID
 WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415



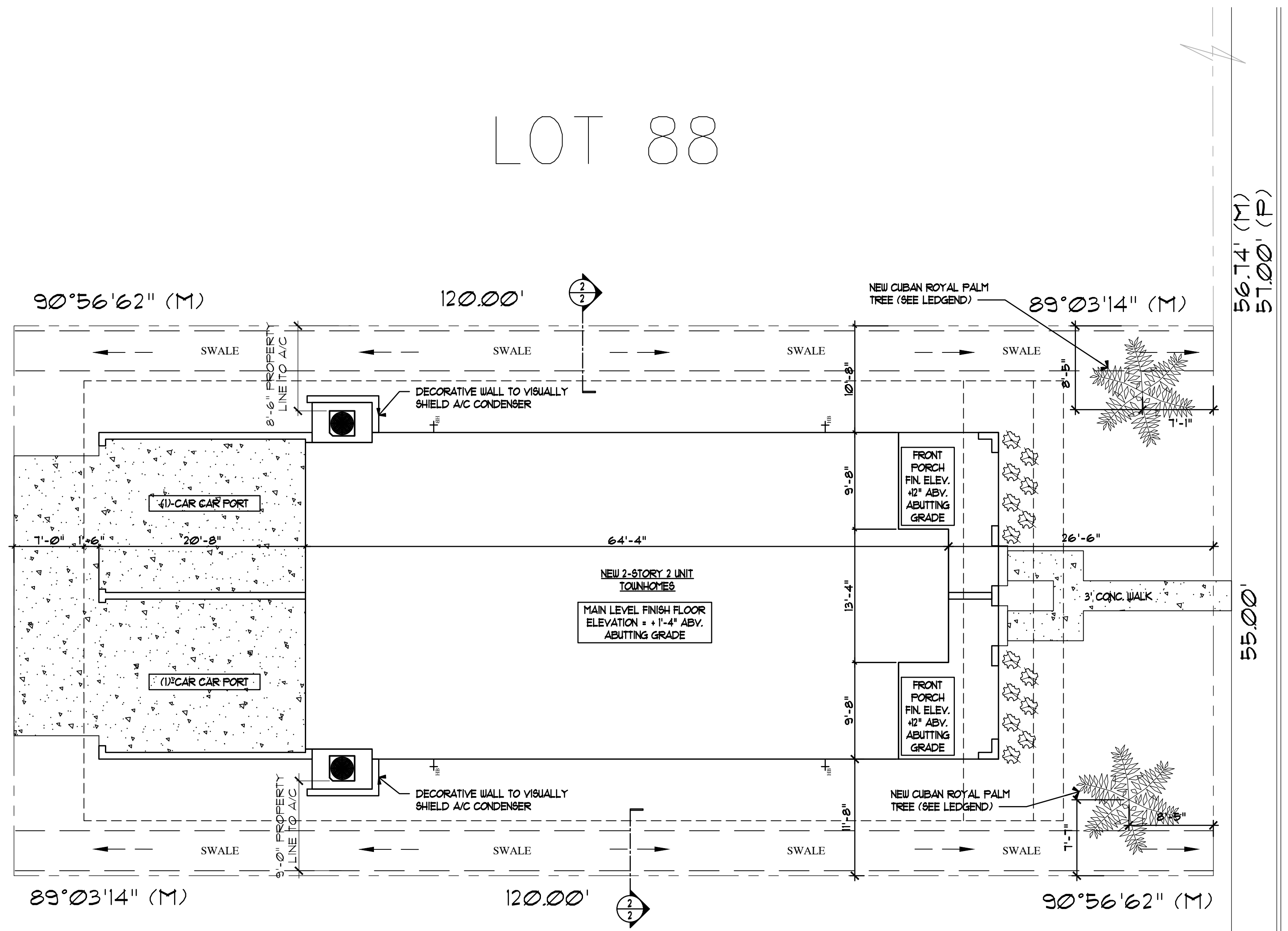
LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

6250 N. MILITARY TRAIL
 SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

C-553809
 08-01-2022
 1"=20'
 1 of 1

BOUNDARY SURVEY OF
 814 14TH STREET NORTH
 ST. PETERSBURG, FL. 33705
 PREPARED FOR
 GRIFFIN GOUDREAU

15' BRICK ALLEY



1 SITE PLAN
SCALE: 1/8" = 1'-0"

LOT 88

LOT 86

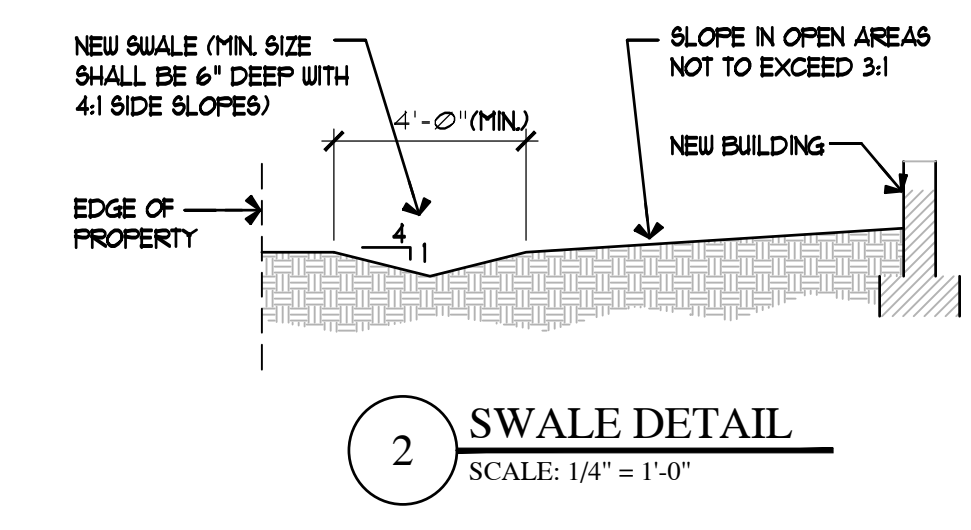
14th ST. N.

60' ROADWAY, IMPROVED

SITE LEGEND

- EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE REMOVED
- ⊙ NEW TREE (PER SECTION 16.40.06.0216 OF CODE)
- ☼ CROTON (22 TOTAL)
- INDICATES DIRECTION OF SITE DRAINAGE
- ⊗ 000 INDICATES EXIST. ELEVATION PRIOR TO GRADING
- ⊙ 000 INDICATES PROPOSED ELEVATION

INSTALL IRRIGATION SYSTEM, 100% COVERAGE OF PERMEABLE AREA



LANDSCAPE NOTE:
PERMEABLE PORTIONS OF PROPERTY INCLUDING REQUIRED YARDS SHALL BE MAINTAINED WITH AN HERBACEOUS LAYER OF SOIL OR GROUND COVER PLANT MATERIAL. ORGANIC MULCH SHALL BE USED AT ALL ACCENT PLANT LOCATIONS.
ST. AUGUSTINE TURF IS LIMITED TO A MAX OF 50% OF PERMEABLE AREAS.
OWNER TO COORDINATE LOCATION FOR (2) SHADE TREES PER THE 'LANDSCAPE SPECIFICATIONS' TABLE IN CITY CODE 16.40.06.0216

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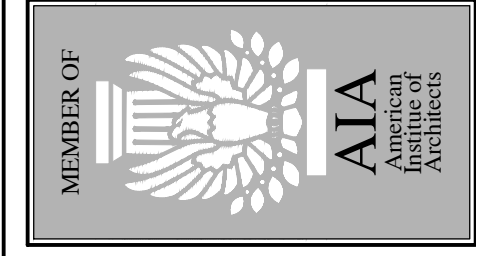
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ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ISSUE	DATE	BY:
REVIEW	12/09/22	TF
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FDJ# 22081.00

Schematic Design for:
GRIFFIN DUPLEX
814 14TH ST. N.
ST. PETERSBURG, FL



FRAZE design architecture

commercial
residential
architecture

FL LIC. NO. AA26006852
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FAX: 727/528-3609

EMAIL: ffd@frazedesign.com
1750 CENTRAL AVENUE
PHONE: 727/528-3608

SHEET TITLE
SITE PLAN

SHEET NUMBER

2

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WALL LEGEND

ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.

NEW/PROPOSED WALLS	FILLED CELLS
8" CMU W/ 1/3 FT FURRING STRIP, 1/4" INSULATION BOARD & 1/2" GYP.	FILLED CELL W/ (1) #5 VERTICAL CONT. FROM FOOTING TO TIE-BEAM
8" CMU	FILLED CELL W/ (1) #5 TURNED 2'-0" INTO SLAB
NON-BEARING 2x4 STUD W/ 1/2" GYP UNO.	RETROFIT (OR EXISTING) REINFORCED CELL IN EXISTING CMU WALL W/ (1) #5 VERTICAL
BEARING 2x4 STUD W/ 1/2" GYP UNO.	RETROFIT (OR EXISTING) REINFORCED CELL IN EXISTING CMU WALL W/ (1) #5 VERTICAL

FILLED CELL NOTE: MAX SPACING OF FILLED CELLS SHALL BE 12" O.C. IF WINDOW OR DOOR OCCURS ABOVE. A FOUNDATION CELL MUST BE FILLED W/ VERTICAL STEEL AND BENT INTO SLAB USING A 6" SLAB UNO.

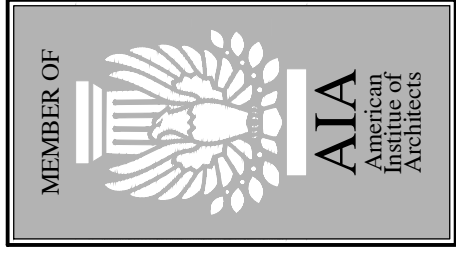
HORIZONTAL JOINT REINFORCEMENT, MASONRY WALLS ARE TO HAVE HORIZONTAL REINFORCEMENT PLACED EVERY 16" MIN. GOING UP THE VERTICAL WALL AT 16" O.C.

CONTROL JOINT NOTE: BUILDING SLABS SHALL HAVE CONTROL JOINTS IN ACCORDANCE W/ ACI 224.5R

GENERAL LOCATIONS OF FILLED CELLS:

- CORNERS
- ADJACENT TO MASONRY OPENINGS
- BEARING WALL INTERSECTIONS
- UNDER GIRDER TRUSSES
- UNDER BEAMS / AT WALL-MOUNTED BEAM LOCATIONS
- 4'-0" FROM CORNERS
- 6'-0" O.C. MAX

ISSUE	DATE	BY:
REVIEW	08/09/22	FR
PERMIT		
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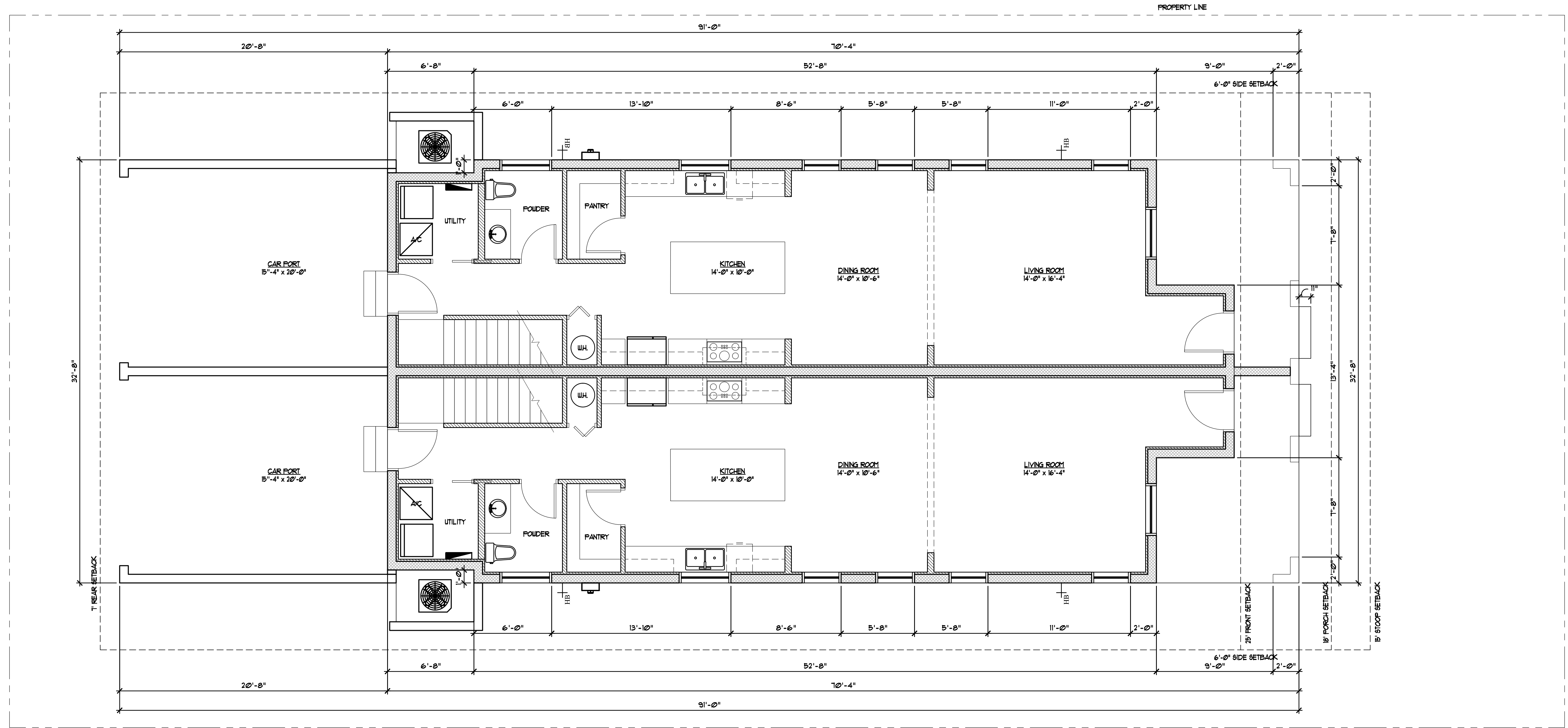
Schematic Design for:
GRIFFIN DUPLEX
 814 14TH ST. N.
 ST. PETERSBURG, FL



FRAZEE design

commercial
residential
architecture

FL LIC. NO. AA26006883
 ST. PETERSBURG, FLORIDA 33712
 1750 CENTRAL AVENUE
 PHONE: 727/528-3608
 FAX: 727/528-3609
 EMAIL: ffd@frazeedesign.com
 STUDIO: 727/528-3607



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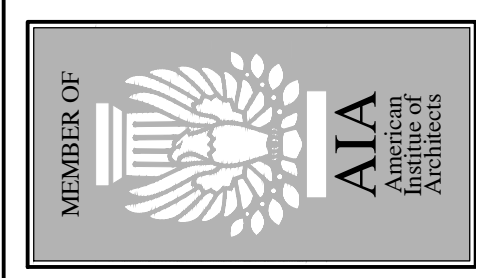
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ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SHEET TITLE
MAIN LEVEL FLOOR PLAN
SHEET NUMBER
4

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ISSUE	DATE	BY:
REVIEW	08/09/22	FR
PERMIT		
REV.		
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REV.		
REV.		



FDJ# 22081.00

Schematic Design for:
GRIFFIN DUPLEX
 814 14TH ST. N.
 ST. PETERSBURG, FL



FRAZEE commercial residential architecture
 design

FL LIC. NO. AA26006885
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 STUDIO: 727/528-3607

SHEET TITLE
 UPPER LEVEL
 FLOOR PLAN

SHEET NUMBER
5

WALL LEGEND

ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR RESISTANT COMPONENTS.

NEW/PROPOSED WALLS	FILLED CELLS
2" CMU W/ 1/3 FT FURRING STRIP, 1/4" INSULATION BOARD & 1/2" GYP.	FILLED CELL W/ (1) #5 VERTICAL CONT. FROM FOOTING TO TIE-BEAM
8" CMU	FILLED CELL W/ (1) #5 TURNED 2'-0" INTO SLAB
NON-BEARING 2x4 STUD W/ 1/2" GYP UNO.	RETROFIT (OR EXISTING) REINFORCED CELL IN EXISTING CMU WALL W/ (1) #5 VERTICAL
BEARING 2x4 STUD W/ 1/2" GYP UNO.	FILLED CELL NOTE: MAX SPACING OF FILLED CELLS SHALL BE 12" O.C. IF WINDOW OR DOOR OCCURS ABOVE, A FOUNDATION CELL MUST BE FILLED W/ VERTICAL STEEL AND BENT INTO SLAB USING A 6" SLAB UNO.

HORIZONTAL JOINT REINFORCEMENT, MASONRY WALLS
 ARE TO HAVE HORIZONTAL REINFORCEMENT PLACED EVERY 16" MIN. GOING UP THE VERTICAL WALL AT 16" O.C.

CONTROL JOINT NOTE: BUILDING SLABS SHALL HAVE CONTROL JOINTS IN ACCORDANCE W/ ACI 224.5R

GENERAL LOCATIONS OF FILLED CELLS:

- CORNERS
- ADJACENT TO MASONRY OPENINGS
- BEARING WALL INTERSECTIONS
- UNDER GIRDER TRUSSES
- UNDER BEAMS / AT WALL-MOUNTED BEAM LOCATIONS
- 4'-0" FROM CORNERS
- 6'-0" O.C. MAX.



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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THE DRAWINGS & DESIGN ARE VALID FOR 12 MONTHS FROM DATE OF BEING SEALED.

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ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

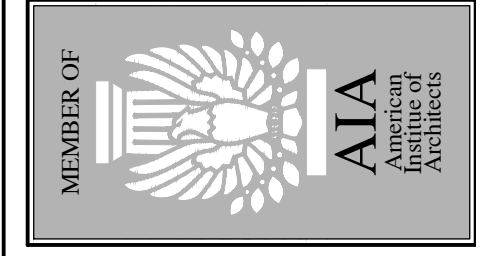
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ELEVATION NOTES

1. ARCHITECTURAL STYLE + ART DECO

Height in Feet - Floor to Ceiling	Façade Length in Feet	Total Sq. Ft of Façade	Fenestration Required	Square Ft Actual Fenestration	Transparency Required	Square Ft Actual Transparency
Front Elevation	32.60	First Floor	326	97.8	173	48.9
		Second Floor	326	97.8	173	48.9
		Total	652.00	195.60	346.00	97.80
Interior Side Elevation	43.50	First Floor	435	87	115	43.5
		Second Floor	435	87	170	43.5
		Total	870.00	174.00	285.00	87.00
Interior Side Elevation	43.50	First Floor	435	87	115	43.5
		Second Floor	435	87	170	43.5
		Total	870.00	174.00	285.00	87.00
Rear Elevation	32.60	First Floor	326	32.6	117	16.3
		Second Floor	326	32.6	82	16.3
		Total	652.00	65.20	199.00	32.60

ISSUE	DATE	BY:
REVIEW	08/09/22	FR
PERMIT		
REV.		
REV.		
REV.		
REV.		
REV.		
REV.		



MEMBER OF
AIA
American Institute of Architects

Schematic Design for:
GRIFFIN DUPLEX
814 14TH ST. N.
ST. PETERSBURG, FL



commercial residential architecture

FRAZEE design

FL LIC. NO. AA20006885
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/528-3608 FAX: 727/528-3609

STUDIO: 727/528-3607

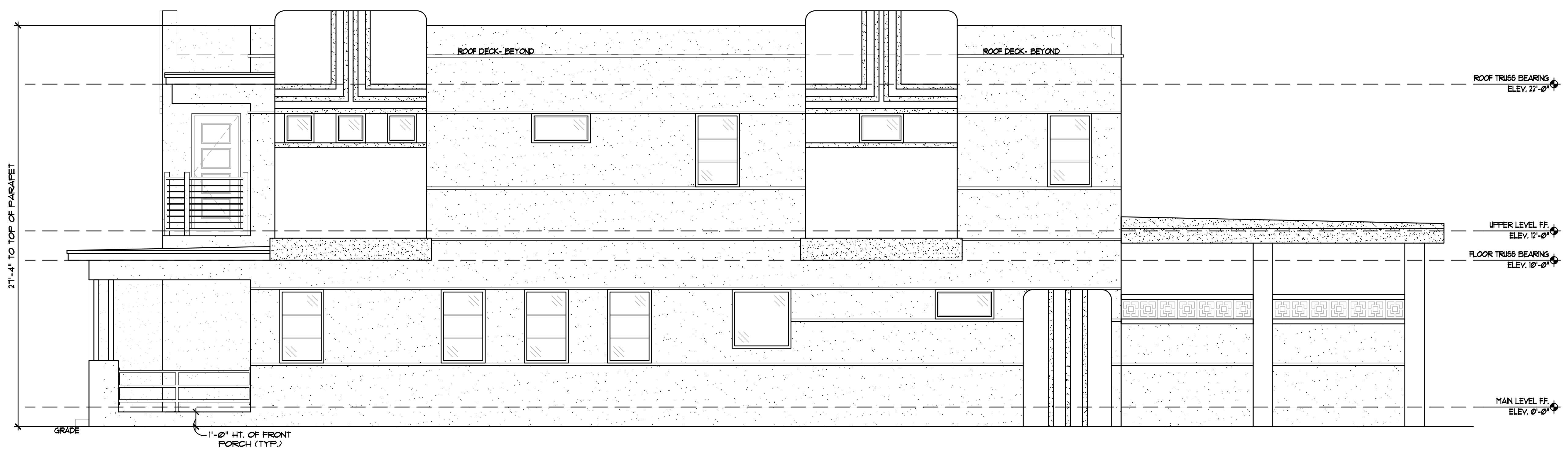
EMAIL: ffr@frazeedesign.com

SHEET TITLE
ELEVATIONS

SHEET NUMBER
6



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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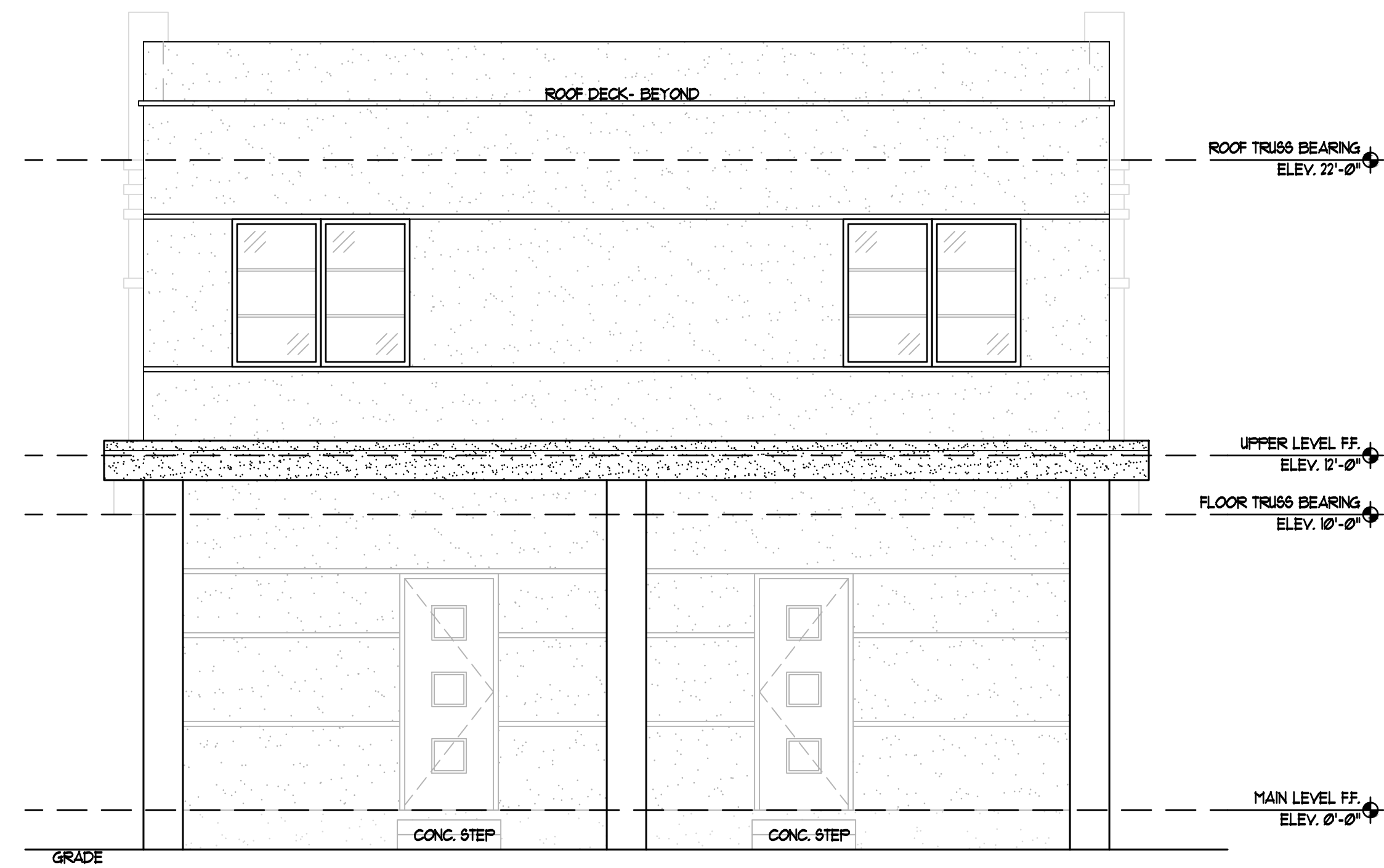
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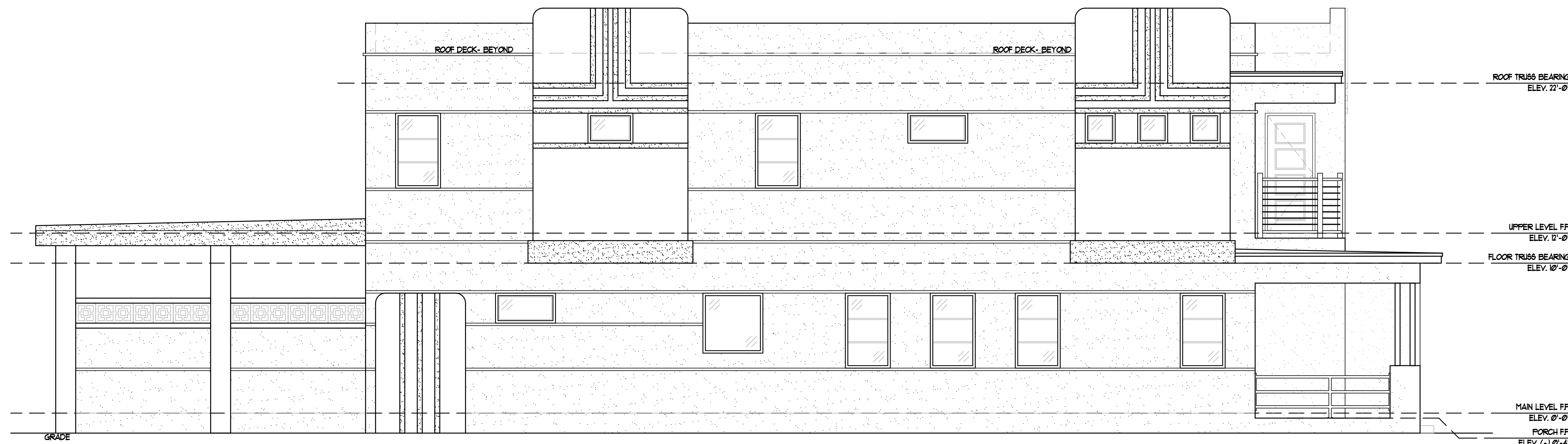
ELEVATION NOTES

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		Total	652.00	65.20	199.00	32.60



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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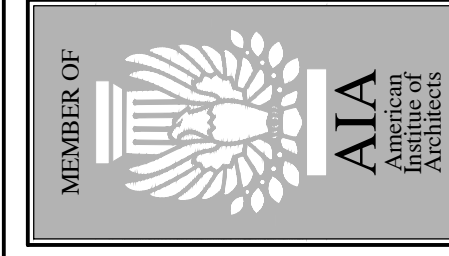
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ISSUE	DATE	BY:
REVIEW	08/09/22	FR
PERMIT		
REV.		
REV.		
REV.		
REV.		
REV.		
REV.		



FDJ# 22081.00

Schematic Design for:
GRIFFIN DUPLEX
814 14TH ST. N.
ST. PETERSBURG, FL



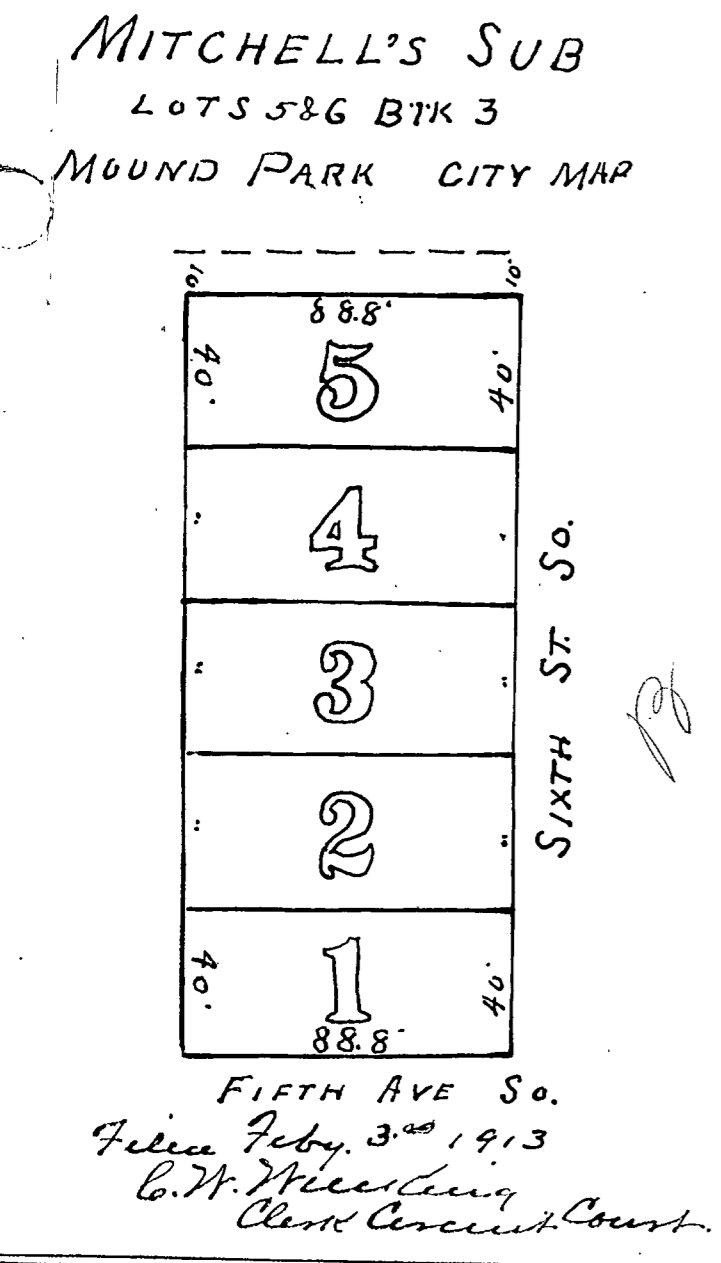
FRAZE design architecture
commercial residential architecture
FL LIC. NO. AA2000685
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/528-3608 FAX: 727/528-3609 STUDIO: 727/528-3607
EMAIL: ffd@frazedesign.com

SHEET TITLE
ELEVATIONS

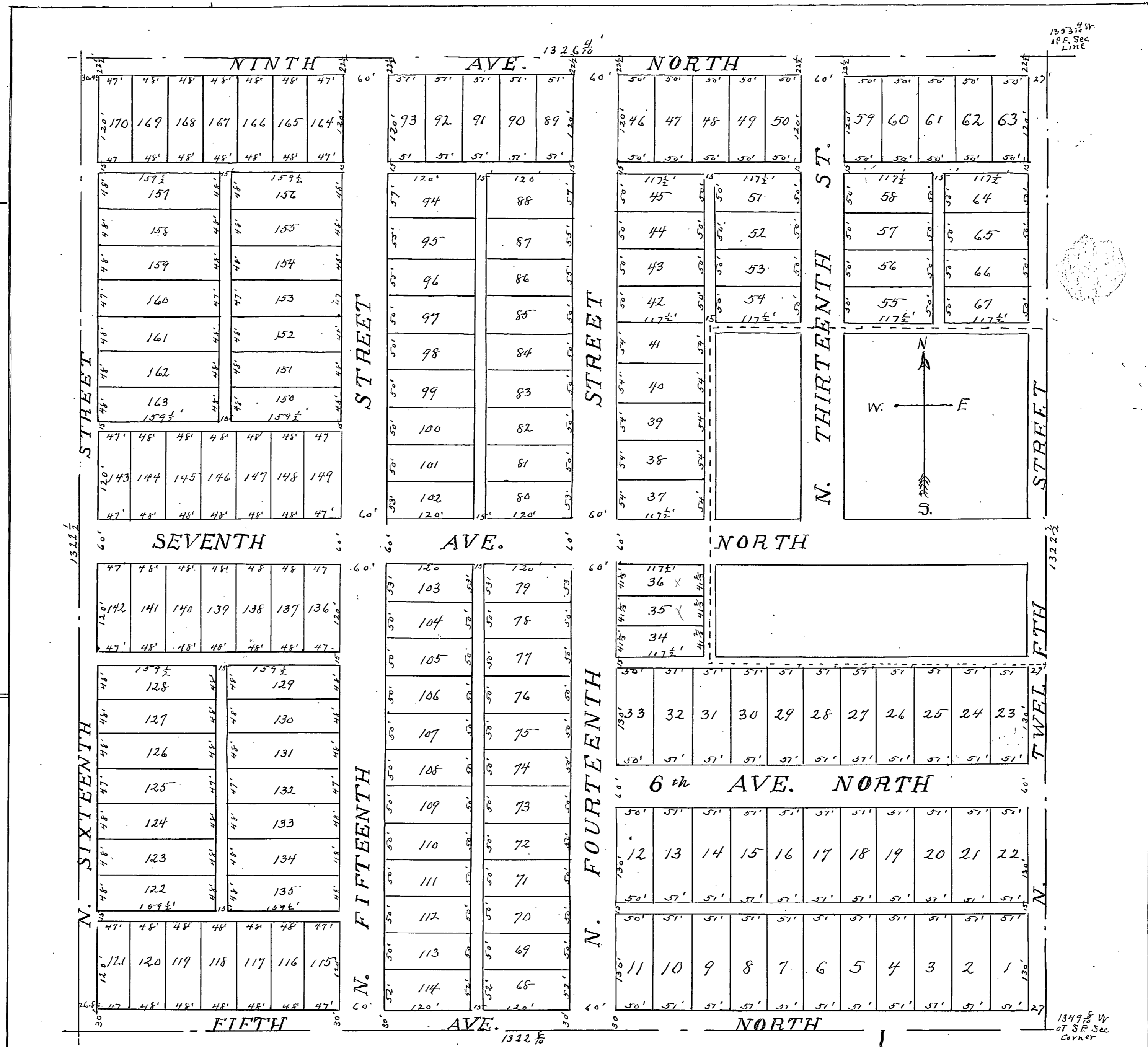
SHEET NUMBER
7

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BR 1 ps 4



ORDINANCE OF PARTIAL VACATION OF
Mare Vista
SUBDIVISION HAS BEEN RECORDED IN
IN O. R. BOOK 10522 PAGE 796
ON 5-19 1999
KARLEEN F. De BLAKER
Clerk of the Circuit Court
BY: Joanne Roland DEPUTY CLERK



BON-AIR
A subdivision of 35A of the S.W. 1/4 of the S.E. 1/4 of Sec. 13
Tp. 31S; R. 16E.
In the City of St Petersburg
Florida
Wm S Merrell Eng Co.

ORDINANCE OF PARTIAL VACATION OF
Bon Air
SUBDIVISION HAS BEEN RECORDED IN
O. R. BOOK 5023 PAGE 1575
ON 5-14 1980
HAROLD MULLENBORG
Clerk of the Circuit Court
BY: Patricia Bueh Deputy Clerk

Plat Map

ORDINANCE OF PARTIAL VACATION OF
Bon Air
SUBDIVISION HAS BEEN RECORDED IN
IN O. R. BOOK 8757 PAGE 1496
ON 8-17 1994
KARLEEN F. De BLAKER
Clerk of the Circuit Court
BY: Joanne Roland DEPUTY CLERK

ORDINANCE OF PARTIAL VACATION OF
Bon Air
SUBDIVISION HAS BEEN RECORDED IN
IN O. R. BOOK 8208 PAGE 221
ON 3-17 1993
KARLEEN F. De BLAKER
Clerk of the Circuit Court
BY: Joanne Roland DEPUTY CLERK

ORDINANCE OF PARTIAL VACATION OF
Bon Air
SUBDIVISION HAS BEEN RECORDED IN
IN O. R. BOOK 8208 PAGE 223
ON March 17 1993
KARLEEN F. De BLAKER
Clerk of the Circuit Court
BY: Joanne Roland DEPUTY CLERK

ORDINANCE OF PARTIAL VACATION OF
Bon Air
SUBDIVISION HAS BEEN RECORDED IN
IN O. R. BOOK 7410 PAGE 110
ON 10-24 1990
KARLEEN F. De BLAKER
Clerk of the Circuit Court
BY: Joanne Roland DEPUTY CLERK



Fraze Design, Inc.
Frank Fraze, AIA, NCARB
Fl. Lic. AA26000585

Building Department
City of St. Petersburg
1 4th Street N.
Saint Petersburg, FL, 33701

December 9, 2022

Re: Griffin Duplex
814 14th Street North
Saint Petersburg, FL 33705

To Whom It May Concern:

The following comments are to comply with “Art Deco” Style as it is stated in “St. Petersburg Design Guidelines for Historic Properties” handbook.

As per the Redevelopment application, “An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City’s Neighborhood Design Review Manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.”

Massing and Composition-

Comment #1: The massing consists of a broad front, with a low slope roof, concealed by a parapet wall.

Comment #2: The façade composition is symmetrical, with balanced placement of doors and windows. The exception to this is with it being on a residential, single-family street, there is only one door facing the front, while the other door is side-facing. There is a window in place to keep the symmetry.

Comment #3: The façade composition has an entrance door centrally located under a visor roof, and is recessed into the front façade because of the front porch.

Comment #4: There are minimal forms added to the main mass including a front porch with the same architectural elements, and the attached rear car port with the same stucco banding around all facades.

Walls, Eaves, and Roofs-

Comment #1: Stylized geometric motifs occur as decorative elements, towers, and vertical projections, specifically at entrances provide vertical emphasis. The front façade includes many decorative elements and vertical projections.

Comment #2: Foundation walls are to be masonry with stucco.

Comment #3: Roof is to be a flat roof concealed by a parapet wall. The flat room is made of built-up roofing material.

Windows and Doors -

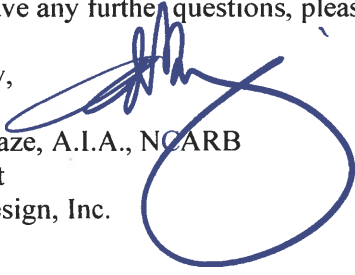
Comment #1: Standard windows are metal casement, in the simple style.

Comment #2: Door is to be a simple flat style with minimal decorative glazing.

Comment #3: Both windows and doors do not include any trim, as trim is infrequent and is only to enhance bandings. There is banding around all glazing.

If you have any further questions, please feel free to contact me.

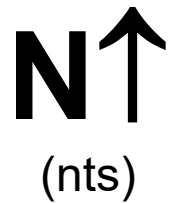
Sincerely,


Frank Frazee, A.I.A., NCARB
President
Frazee Design, Inc.



PROJECT LOCATION MAP
Case No.: 22-5100006
Addresses: 814 14th Street N.

City of St. Petersburg, Florida
Planning & Development Services Department





August 18, 2022

3W, LLC
4110 Helena Street NE
St. Petersburg, FL 33703

RE: PROPERTY CARD INTERPRETATION: 22-4100012
Property Generally Located At: 814 14th Street N
Parcel ID No.: 13-31-16-10062-000-0870
Legal Description: BON AIR LOT 87

To Whom It May Concern:

A Property Card Interpretation letter has been completed for the above-referenced property. The following findings have been made:

LEGAL NUMBER OF DWELLING UNITS

1. The property is zoned NT-2, which allows one single-family home and one accessory dwelling unit on the subject property in compliance with the land development regulations. The City will recognize more than one dwelling unit on the property if the units were legally constructed.
2. The property card for the lot, which covers the period between the inception of the property card, (1935), and 1987, indicates there is a frame cottage with five rooms and a two-car garage and a frame cottage with four rooms. There are also entries related to plumbing and electrical permits that were issued (see attached property card).
3. From 1988 to present, one additional roofing permit was issued for the property (BP88-10258030).
4. The Pinellas County Property Appraiser's card for the property shows two residential buildings and one garage on the property.
5. Accordingly, the interpretation can be made that **two (2) dwelling units were legally constructed on the property**. Any additional units on the property were not legally constructed.

LEGAL STATUS OF DWELLING UNITS

1. When there are more units on the property than permitted by the current zoning, the additional units are considered grandfathered dwelling units. In this case, there is one (1) additional unit.
2. Dwelling units may lose their grandfathered status and become abandoned for the following reasons:
 - a. Not occupied due to violations of building, nuisance, or other public health, welfare, and safety codes for a continuous period of one year or for intermittent periods amounting to one year or more within any two-year period.



P.O. Box 2842
St. Petersburg, FL 33731-2842
T: 727-893-7111

- b. Not occupied for a continuous period of two years. For residential units and uses, such occupancy must be as a tenant or owner and may not be incidental to the occupant's employment as caretaker or security person for the property.
 - c. No business tax certificate issued for the property or the units that are subject to abandonment for a continuous period of two years or for intermittent periods amounting to two years or more within any three-year period.
3. The Pinellas County Property Appraiser's website shows that the property has not been homesteaded since at least 1996.
4. City Business Tax has not been paid on the two rental units on the property since at least 2004. Therefore, **one (1) dwelling unit is legally allowed on the property**. The second dwelling unit is considered abandoned and is required to be Reinstated before it is utilized as a second dwelling unit.
5. If the owner desires to reinstate the second unit, then approval of a Reinstatement application is required. Please contact DRC@stpete.org to schedule a required pre-application meeting for a Reinstatement. Please be advised that applicants seeking reinstatement are routinely required to bring their properties into compliance with current codes, including paved parking, landscaping, building improvements, and improvements to correct other deficiencies that may be present on the property.
6. If the property owner desires to substantially modify the units, a Redevelopment Application may be submitted to the Development Review Services Division of the City prior to demolition or modification of the units and after a Reinstatement has been approved. Please contact DRC@stpete.org to schedule a required pre-application meeting for a Redevelopment Plan.

Appeal

If you have evidence that the findings of this interpretation are incorrect, you may submit a reconsideration request within 15 days of the receipt of this letter. An appeal must be filed within 10 days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. An appeal is a statement on your part that you do not believe that the findings of this determination are correct and that you have evidence to refute the finding. For a reconsideration or appeal, you must submit a cover letter and whatever evidence is referenced in your letter. The 30-day deadline does not apply to applications for reinstatement.

This determination is effective as of the date of this letter and is subject to change upon any future amendment to the Land Development Regulations. Future development on the subject parcel shall be subject to all applicable codes at time of permitting; including, but not limited to, Land Development Regulations and Building and Life Safety Codes.

If you have questions about the appeal or the Development Review Commission, please feel free to contact the Clerk at (727) 892-5498.

Sincerely,



Corey Malyszka, AICP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

Attachments: City Property Card, Pinellas County Property Card, Application

SUBDIVISION	BON AIR	87	BLOCK
BUILDING	ELECTRICAL	✓ LOT	PLUMBING
Location: 814 - 14th St. No. F Cottage & 2 car garage 5 rooms F Cottage 4 rooms	E8904B - 10/21/70 R Edward Novak Kelly REPEL - 60-amps 1-P (N. Upper E8905B - 10/21/70A R Edward Novak Kelly REPEL - 60-amps 1-p (South Upper #E8905004 - 4/20/88 - Airt Rhea - Lehmkuhl Elec - upgrade to 60 amps relocate mtr, 10, #6 THHN. Exist mtr. 814 1/2 SEA/frm Over		13.3/H/6 #7773 - 2/16/35 - Miss E. Crocker Hancock - 1 lavatory OK 2/20/35
	INSTALLATION		GAS
B - 8	SIGNS		SEPTIC TANK

ELECTRIC

#E805005 - 4/20/88 - Ajit Rhea
Lehmkuhl Elec - upgrade serv to
60 amps, relocate mtr, 1Ø, #6
THHN CU, exist mtr. SEA/frm

BHELA, AJIT S
832 14TH ST N
ST PETERSBURG, FL 33705-1252

2021 13-31-16-10062-000-0870
PRINTED 08/18/2021
BY jarmstrong

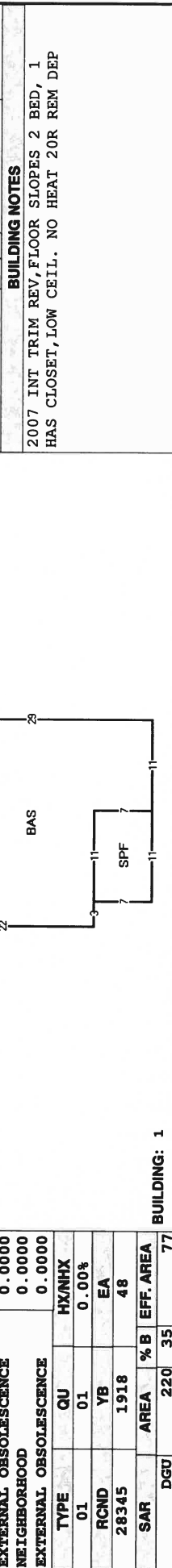
814 14TH ST N, ST PETERSBURG 33705-

0810 Single Family - more than one house per
Map Id: 1106.0 1.00 1.00 1.00 AREA = 11; NEB = 06

VALUE SUBJECT TO CHANGE

BUILDING CHARACTERISTICS		VALUE SUMMARY	
QUALITY	Fair	PRIOR JUST MARKET VALUE	159,168
CATEGORY	TYPE	CURRENT JUST MARKET VALUE	188,205
FOUNDATIO	1PIERS	ASSESSED VALUE	106,280
FLOOR	3WOOD	HX/NHX CAP BASE YEAR	0
EXTERIOR	10FRAME/CUST	TAXABLE VALUE	106,280
ROOF	1GABLE OR	HX	No
ROOF	3SHINGLE	% HX	0.00
FLOOR	3CARPET/HARD	TOT EXEMPTIONS VALUE	0
INTERIOR	2DRYWALL/PLA	PERMIT	
HEATING	0 NONE	TP ST.	
COOLING	NONE	EST VAL	ISSUE DATE

CATEGORY	UNITS	BUILDING NOTES	
STORIES	1.00	2007 INT TRIM REV, FLOOR SLOPES 2 BED, 1 HAS CLOSET, LOW CEIL. NO HEAT 20R REM DEP	
FIXTURES	3.00		
LIVING UNITS	1.00		
TOTAL LIVING UNITS	2		
DEPRECIATION ADJ	ADJ		
EXTERNAL OBSOLESCENCE	0.0000		
NEIGHBORHOOD	0.0000		
EXTERNAL OBSOLESCENCE	0.0000		
TYPE	QU		
01	01		
RCND	YB		
28345	1918		
SAR	AREA % B EFF. AREA		
DGU	220 35		
UTU	128 25		
OPU	150 15		
BAS	627 100		
SPF	77 25		
TAXING DISTRICT	1,202	777	



L	N	OFFICIAL	DATE OF SALE	SALES PRICE	SELLER	BUYER	SALES NOTE
1	06672	0309	02/01/1988	20000	M	N	
Q	U	I	REASON				
Q	Q	Q					

L	N	EXTRA	DESCRIPTION	BD	NHX	LEN	FRONT	DEPTH	FRNT FT	FF T	UNITS	UNIT VALUE	ADJ UNIT VALUE	BLT YEAR	EFF AGE	BLT	% GOOD	XF VALUE	INFLUENCE DESCRIPTION	UT TP	D T	DEPTH FACT	SIZE FACT	UNIT VALUE	ADJ UNIT VALUE	LAND VALUE	OTHER ADJ AND NOTES
C	1	08	MULTI-	0.0	55.00	120.0	70	106.00	55.00	FF	130	0.98	1.00	3,700.00	3,843.56	211,396.20	UT IV										

NOTES		
REVIEW DATE	01/07/2021	APPRaisal DATES
FIELD NUMBER	224	REVIEW TYPE
	General	



PROPERTY CARD INTERPRETATION (PCI)

RECEIVED
JUL 18 2022
DEVELOPMENT REVIEW SERVICES

Application No. 22-41000012

A Property Card Interpretation (PCI) will identify lawful uses of property. All applications are to be filled out completely and correctly. Applications are submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION

NAME of APPLICANT (Property Owner): 3W, LLC
Street Address: 4110 Helena St NE
City, State, Zip: St. Petersburg, FL 33703
Telephone No: 4085073523 Email Address: goudreaux@gmail.com
NAME of AGENT or REPRESENTATIVE:
Street Address: 4110 Helena St NE
City, State, Zip: t. Petersburg, FL 33703
Telephone No: 4085073523 Email Address: goudreaux@gmail.com
PROPERTY INFORMATION:
Street Address or General Location: 814 14th St N, St. Petersburg, FL
Parcel ID#(s): 13-31-16-10062-000-0870
Legal Description (may be attached):

FEE SCHEDULE

The fee for a property card interpretation application: \$60.00 (1st hour of research, plus \$50.00 per hour thereafter)
Cash, credit, checks made payable to "City of St. Petersburg"

AUTHORIZATION

As owner of the subject property, I understand that a property card interpretation may have serious implications addressing the legality of my property. If my opinion differs from that of the PCI, I also understand that I have 15-days upon receipt of the PCI to request reconsideration, and 10-days upon receipt of the subsequent reconsideration to submit an appeal of the decision, which will be heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then I may apply for reinstatement.

Signature of Owner / Agent*:

Date:

7/18/22

*Affidavit to Authorize Agent required, if signed by Agent.

UPDATED 09-30-16



PROPERTY CARD INTERPRETATION (PCI) NARRATIVE and CHECKLIST

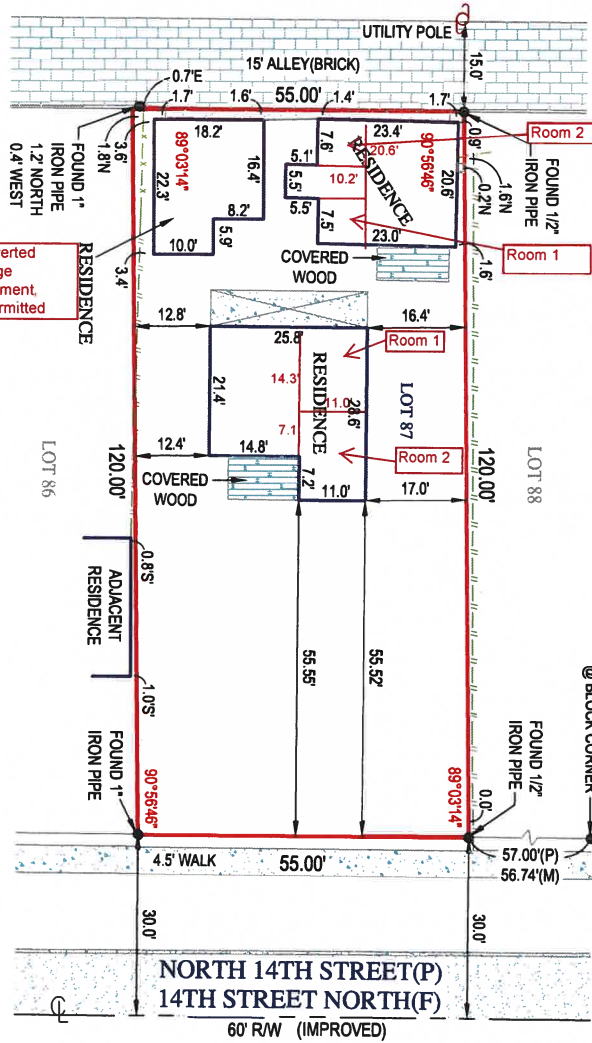
ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
A property Card Interpretation will research the grandfathered status of land use types at the subject property and may determine how many legal dwelling units may exist on the subject property.
1. What is the current use of the property? <small>2 single family homes on one parcel</small>
2. How many dwelling units exist at the property? <small>2</small>
3. How many rooming units exist at the property? <small>2</small>
4. Does the owner occupy the property as his or her permanent residence? <small>No</small>
5. When was the last time the property was owner-occupied? MONTH _____ YEAR _____
6. Are the dwelling units or rooming units currently occupied? <small>No</small>
a. If yes, how many units are currently occupied?
b. If yes, where are the units located within the structure(s)?
7. On what date did you purchase the property? <small>3/17/2022</small>
CHECKLIST
<input type="checkbox"/> Completed PCI application form;
<input type="checkbox"/> Application fee;
<input type="checkbox"/> Affidavit to authorize agent, if agent signs;
<input type="checkbox"/> A floor plan for each dwelling nit or rooming unit drawn to scale with dimensions;
<input type="checkbox"/> Scaled, site plan of the entire property;
<input type="checkbox"/> Dimensions of the lot;
<input type="checkbox"/> Dimensions and locations of all buildings and other structures;
<input type="checkbox"/> Parking spaces;
<input type="checkbox"/> Ingress / egress points.

Notice: A request for reconsideration must be filed within 15-days following delivery of the PCI to the property owner. An appeal must be filed by the property owner within 10-days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then the property owner may apply for reinstatement.

LEGAL DESCRIPTION
 LOT 87, BON-AIR, ACCORDING TO THE MAP OR PLAT THEREOF,
 AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC
 RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE: X
 COMMUNITY NUMBER: 125148
 PANEL: 1210300219
 SUFFIX: H
 BASE FLOOD ELEVATION: N/A
 FIRM DATE: 08-24-2021
 FIRM EFFECT./REV DATE: 08-24-2021



VICINITY MAP
 NOT TO SCALE

LEGEND

- AC AIR CONDITIONER
- BE BACKFLOW PREVENTER
- B.S.B. BLOCK STRUCTURE
- E.E. ELEVATION
- F.F. FINISHED FLOOR
- I.D. IDENTIFICATION
- L.B. LICENSED BUSINESS
- M. MEASURED
- N.A.V.D. NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.A. OFFICIAL RECORDS BOOK
- P. PLAT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.B. PAGE
- P.B. PLAT BOOK
- P.R. PAPER
- R.K. RANGER/KITLON NAIL
- C. CENTERLINE
- A. AND
- NUMBER
- A. DELTA OR CENTRAL ANGLE
- CONCRETE
- CHAIN LINK FENCE
- WOOD FENCE
- MISCELLANEOUS FENCE

- NOTES:**
- LEGAL DESCRIPTION PROVIDED BY CLIENT
 - NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 - NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 - ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
 - SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

DATE OF FIELD WORK: 08-01-2022
 DATE OF MAP: 08-10-2022

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 www.compassurveying.net

COMPASS SURVEYING

LB. 7463 PHONE: 561.640.4800 FAX: 561.640.0576

Project: C-555989
 Date: 08/01/2022
 Scale: 1"=20'
 Sheet: 1 of 1

BOUNDARY SURVEY OF
 814 14TH STREET NORTH
 ST. PETERSBURG, FL. 33705

PREPARED FOR
 GRIFFIN GOUDREAU



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
3W, LLC

Filing Information

Document Number	L21000398950
FEI/EIN Number	87-2985621
Date Filed	09/09/2021
State	FL
Status	ACTIVE

Principal Address

1703 E BETHANY HOME RD
PHOENIZ, AZ 85016

Mailing Address

1703 E BETHANY HOME RD
PHOENIZ, AZ 85016

Registered Agent Name & Address

FIRST CORPORATE SOLUTIONS, INC.
155 OFFICE PLAZA DR
TALLAHASSEE, FL 32301

Authorized Person(s) Detail

Name & Address

Title AMBR

MUDD, KIMBERLY
1703 E BETHANY HOME RD
PHOENIZ, AZ 85016

Title AMBR

MUDD, RILEY



MIKE TWITTY, MAI, CFA
Meet Mike

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13-31-16-10062-000-0870

Compact Property Record Card

Updated January 17, 2023

Tax Estimator [Email](#) [Print](#) [Radius Search](#) [FEMA/WLM](#)

<u>Ownership/Mailing Address Change</u> Mailing Address	Site Address (First Building)
3W LLC 1703 E BETHANY HOME RD PHOENIX AZ 85016-2516	814 14TH ST N ST PETERSBURG
Jump to building: (1) 814 14TH ST N ▾	



Property Use: 0810 (Single Family - more than one house per parcel) Current Tax District: ST PETERSBURG (SP) Total Living SF: 1,117 Total Gross SF: 1,764 Total Living Units: 2

[click here to hide] **Legal Description**
BON AIR LOT 87

<u>Tax Estimator</u> <input type="checkbox"/> <u>File for Homestead Exemption</u>	2023 Parcel Use																		
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 15%;">Exemption</th> <th style="width: 15%;">2023</th> <th style="width: 15%;">2024</th> </tr> <tr> <td>Homestead:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Government:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Institutional:</td> <td>No</td> <td>No</td> </tr> <tr> <td>Historic:</td> <td>No</td> <td>No</td> </tr> </table>	Exemption	2023	2024	Homestead:	No	No	Government:	No	No	Institutional:	No	No	Historic:	No	No	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Homestead Use Percentage: 0.00%</td> </tr> <tr> <td>Non-Homestead Use Percentage: 100.00%</td> </tr> <tr> <td>Classified Agricultural: No</td> </tr> </table>	Homestead Use Percentage: 0.00%	Non-Homestead Use Percentage: 100.00%	Classified Agricultural: No
Exemption	2023	2024																	
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Government:	No	No																	
Institutional:	No	No																	
Historic:	No	No																	
Homestead Use Percentage: 0.00%																			
Non-Homestead Use Percentage: 100.00%																			
Classified Agricultural: No																			

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone (NOT the same as a FEMA Flood Zone)	Flood Zone (NOT the same as your evacuation zone)	Plat Book/Page
21981/1384	\$260,000 Sales Query	121030234002	NON EVAC	Current FEMA Maps	1/4

2022 Final Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2022	\$224,963	\$116,908	\$116,908	\$224,963	\$116,908

[click here to hide] Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2021	No	\$188,205	\$106,280	\$106,280	\$188,205	\$106,280
2020	No	\$159,168	\$79,134	\$79,134	\$159,168	\$79,134
2019	No	\$162,689	\$71,940	\$71,940	\$162,689	\$71,940
2018	No	\$117,723	\$65,400	\$65,400	\$117,723	\$65,400
2017	No	\$79,268	\$59,455	\$59,455	\$79,268	\$59,455
2016	No	\$79,554	\$54,050	\$54,050	\$79,554	\$54,050
2015	No	\$109,374	\$49,136	\$49,136	\$109,374	\$49,136
2014	No	\$83,475	\$44,669	\$44,669	\$83,475	\$44,669
2013	No	\$40,608	\$40,608	\$40,608	\$40,608	\$40,608
2012	No	\$46,742	\$46,742	\$46,742	\$46,742	\$46,742
2011	No	\$51,202	\$51,202	\$51,202	\$51,202	\$51,202
2010	No	\$51,403	\$51,403	\$51,403	\$51,403	\$51,403